



SUBDIVISION REPORT - CONCEPT/SPECIAL USE

► **FILE #:** 8-SE-26-C

AGENDA ITEM #: 38

8-C-26-SU

AGENDA DATE: 8/13/2026

► **SUBDIVISION:** LOVES CREEK LOFTS

► **APPLICANT/DEVELOPER:** THE PRESERVES AT LOVES CREEK, LLC

OWNER(S): THE PRESERVE AT LOVES CREEK LLC

TAX IDENTIFICATION: 60 I C 002

[View map on KGIS](#)

JURISDICTION: City Council District 4

STREET ADDRESS: 1717 LOVES CREEK RD

► **LOCATION:** Southwest corner of the intersection of Loves Creek Rd and Buffat Mill Rd

SECTOR PLAN: Northeast County

GROWTH POLICY PLAN: N/A (Within the City limits)

FIRE DISTRICT: Knoxville Fire Department

WATERSHED: Love Creek

► **APPROXIMATE ACREAGE:** 5.38 acres

► **ZONING:** RN-4 (General Residential Neighborhood)

► **EXISTING LAND USE:** Rural Residential

► **PROPOSED USE:** Multifamily Residential Development

SURROUNDING LAND USE AND ZONING: North: Agriculture/forestry/vacant land - C-R-2 (Regional Commercial)
South: I-640 Rights-of-way - RN-4 (General Residential Neighborhood)
East: Agriculture/forestry/vacant land, public/quasi public land (park) - OS (Open Space)
West: I-640 Rights-of-way

► **NUMBER OF LOTS:** 5

SURVEYOR/ENGINEER: David Harbin; Batson, Himes, Norvell and Poe

ACCESSIBILITY: Access is via Loves Creek Road, a major collector with a pavement width of 20.5 ft within a right-of-way which varies between 40.5 ft and 42.5 ft.

► **SUBDIVISION VARIANCES REQUIRED:**
1. Variance to allow multifamily dwellings to be served by access easements (variance from Section 3.03.C.1).
2. Variance to allow more than 10 dwelling units to be served by an access easement (variance from Section 3.03.C.1).

STAFF RECOMMENDATION:

- Approve the variance to allow multifamily dwellings to be served by access easements, based on the following evidence of hardship.
1. The property has adequate frontage to provide separate driveways for each proposed lot. However, the City of Knoxville Engineering Department will not approve individual driveways due to safety concern at this street segment.

2. The property's location at Loves Creek Road and the consolidated access required by City Engineering is unique to the property.
3. Allowing the development to be served by two access easements will provide safer road conditions. The development will incorporate all-way stop controls at the proposed driveways and at the intersection of Loves Creek Road and Buffat Mill Road, as recommended by the traffic impact study.

Approve the variance to allow more than 10 dwelling units to be served by an access easement, based on the following evidence of hardship.

1. The property has adequate frontage to provide separate driveways for each proposed lot, thereby eliminating the need for access easements to serve more than 10 dwelling units.
2. However, the City of Knoxville Engineering Department will not approve individual driveways due to safety concern at this street segment. The property's location at Loves Creek Road and the consolidated access required by City Engineering is unique to the property.
3. Allowing 36 dwelling units to be served by the northern access easement and 48 dwelling units to be served by the southern access easement will provide safer road conditions. The development will incorporate all-way stop controls at the proposed driveways and at the intersection of Loves Creek Road and Buffat Mill Road, as recommended by the traffic impact study.

Approve the concept plan for up to five lots and a common area, subject to 5 conditions.

- 1) Meeting all applicable requirements of the City of Knoxville Engineering Department.
- 2) Ensuring the relocation of the historic Alfred Buffat Homestead structure to the abutting southern parcel in coordination with the City's Plans Review & Inspections Department and Planning staff. A type 'A' landscape screen (Exhibit B) shall be provided along the southern boundary after the relocation.
- 3) Implementing the recommendations of the Traffic Impact Study for The Preserve at Loves Creek by Ardurra, as required by the City of Knoxville Engineering Department and Tennessee Department of Transportation.
- 4) Recording a plat with the proposed lot layout and easements, meeting all applicable requirements of the Subdivision Regulations and standard platting process.
- 5) Changing the lot number of the common area to CA-1 or OS-1 and revising the other numbers in chronological order. Add a note on the final plat to stipulate that the common area shall be accessed from the internal driveways only.

► **Approve the request for a multifamily development of up to 84 units, subject to 5 conditions.**

- 1) Meeting all applicable requirements of the City of Knoxville Zoning Code, including, but not limited to, Principal Use Standards (Article 9.3.1) and Site Landscape (Article 12.7).
- 2) Meeting all applicable requirements of the City of Knoxville Engineering Department.
- 3) Meeting all applicable requirements of the City of Knoxville Plans Review and Inspections Department.
- 4) Meeting all applicable requirements of the City of Knoxville Tree Protection Ordinance.
- 5) Ensuring adequate screening to mitigate noise from Interstate 640, subject to review and approval by the City's Urban Forestry Division during the permitting phase:
 - (a) Maintaining all existing, healthy trees along I-640 right-of-way and within the riparian buffer zone outside the scope of required grading for building pads.
 - (b) Mitigating any removed or disturbed trees within the riparian buffer zone.
 - (c) Installing additional native, non-invasive trees within the riparian buffer zone and around the rear side of the structures to fill in any gaps and ensure sufficient screening.

This proposal is for an 84-unit multifamily development comprising four 3-story structures and three 2-story structures at the intersection of Loves Creek Road and Buffat Mill Road. The applicant proposes to subdivide the 5.42-acre subject parcel into 5 lots and one common area, meeting the maximum 40,000-sq ft lot size requirement for multifamily developments in the RN-4 district.

ACCESS AND CONNECTIVITY: Access is provided via two shared driveways from Loves Creek Road. One driveway serves lots 1 and 2; the other serves lots 4, 5, and 6. Because the development is divided into separate lots, access easements are required so the lots without driveways can use the driveways on the other properties. While the Subdivision Regulations generally restricts multifamily developments on access easements, access is consolidated here for safety reasons and the alternative layout is preferred by City Engineering.

The traffic impact study recommends installation of stop signs at the proposed driveways and converting the intersection of Loves Creek Road and Buffat Mill Road from side-street stop control to all-way stop control

(Exhibit D). The study found a lack of sight distance at the proposed driveways locations but indicates the required distance can be obtained by removing or trimming any vegetation within the right-of-way. Additionally, City Engineering may require grading of any restrictive embankments during the permitting phase.

A planned greenway (Loves Creek Greenway Corridor) is contemplated to go through the northeastern corner of the subject parcel, connecting an existing trail across Loves Creek Road to the commercial node north of subject parcel. The proposed development does not provide any connection to the greenway since the feasibility and exact location of the greenway is unknown at this time.

HISTORIC STRUCTURE: The existing 2-story structure on the property was originally constructed in the 1860s by Alfred Buffat, after whom Buffat Mill Road is named. The structure, known as Alfred Buffat Homestead or "The Maples", is listed on the National Register of Historic Places. The property owner has applied for assistance from the City's Residential Historic Preservation Program and submitted a permit application (PLAN-26-1650) to relocate the structure to the abutting southern parcel owned by the same owner. The structure's historic significance, photograph, and relocation plan is included in Exhibit C.

STREAM BUFFER: A 60-ft Riparian Buffer Zone is required on each side of the stream running through the property. The applicant is proposing to establish a buffer on an average-width basis (Stormwater and Street Ordinance, Section 22.5-35), maintaining at least 30 ft outside of all building areas and providing an extended buffer area along the norther side to compensate for encroachments into the 60-ft buffer areas.

STANDARDS FOR EVALUATING A SPECIAL USE (ARTICLE 16.2.F.2)

1) THE USE IS CONSISTENT WITH ADOPTED PLANS AND POLICIES, INCLUDING THE GENERAL PLAN AND THE ONE-YEAR PLAN.

A. The proposed use is consistent with the General Plan's development policy 9.3, which encourages the context of new development, including scale and compatibility, to not impact existing neighborhoods and communities. The property's location, surrounded by two major collector streets and the Interstate 640, provides adequate buffer from nearby neighborhoods.

B. The General Plan's Development Policy 9.5 discourages residential developments in locations that will be subject to excessive noise. The recommended condition to provide additional landscaping along I-640 is intended to mitigate noise from the highways.

C. The proposed use is consistent with the One Year Plan's and Northeast County Sector Plan's MDR/O (Medium Density Residential / Office) land use classification.

2) THE USE IS IN HARMONY WITH THE GENERAL PURPOSE AND INTENT OF THIS ZONING CODE.

A. The RN-4 district is intended to accommodate mixed medium density residential neighborhoods in the City that includes houses, duplexes, townhomes, low-rise multi-family dwellings, cottage courts, and pocket neighborhoods.

B. Each of the proposed lots conforms to the RN-4 district's dimensional standards (Article 4.3) and parking requirements (Article 11).

C. The proposed structures largely comply with the principal use standards for multifamily developments (Article 9.3.1). However, additional windows are required on the façade of Building 2 facing Buffat Mill Road to meet the 20% transparency requirement along street-facing facades, which shall be verified during permitting. Street facing facades are encouraged to include three-dimensional elements to provide more visual interest, but this is not a requirement and the side facades are largely absent any three-dimensional architectural elements.

D. The applicant is proposing a 6-ft wide parking lot perimeter landscape yard along Loves Creek Road per Article 12.5. To meet the foundation landscaping requirement of Article 12.7, an alternative landscape design shall be provided during the permitting phase.

3) THE USE IS COMPATIBLE WITH THE CHARACTER OF THE NEIGHBORHOOD WHERE IT IS PROPOSED, AND WITH THE SIZE AND LOCATION OF BUILDINGS IN THE VICINITY.

A. The subject property is isolated from other residential developments in the larger vicinity, separated by I-640 to the west and a rail line and wooded Loves Creek to the east. The area to the north is characterized by large commercial uses.

B. The existing historic structure on the property will be relocated to the abutting southern parcel. While the proposed use is not compatible with the historic site, staff recommends a Type A landscape screen along the shared boundary to mitigate the visual impact of the new development.

4) THE USE WILL NOT SIGNIFICANTLY INJURE THE VALUE OF ADJACENT PROPERTY OR BY NOISE, LIGHTS, FUMES, ODORS, VIBRATION, TRAFFIC, CONGESTION, OR OTHER IMPACTS DETRACT FROM

THE IMMEDIATE ENVIRONMENT.

A. The proposal is not anticipated to injure the value of any nearby properties.

5) THE USE IS NOT OF A NATURE OR SO LOCATED AS TO DRAW SUBSTANTIAL ADDITIONAL TRAFFIC THROUGH RESIDENTIAL STREETS.

A. The development is accessed via Loves Creek Road, a major collector, with nearby access to Millertown Pike and I-640, so it will not draw traffic through residential streets.

6) THE NATURE OF DEVELOPMENT IN THE SURROUNDING AREA IS NOT SUCH AS TO POSE A POTENTIAL HAZARD TO THE PROPOSED USE OR TO CREATE AN UNDESIRABLE ENVIRONMENT FOR THE PROPOSED USE.

A. Noise from the Interstate 640 to the southwest could pose a potential undesirable environment for the proposed use. Staff recommends maintaining the existing vegetation along the highway and installing additional landscaping to minimize the effect.

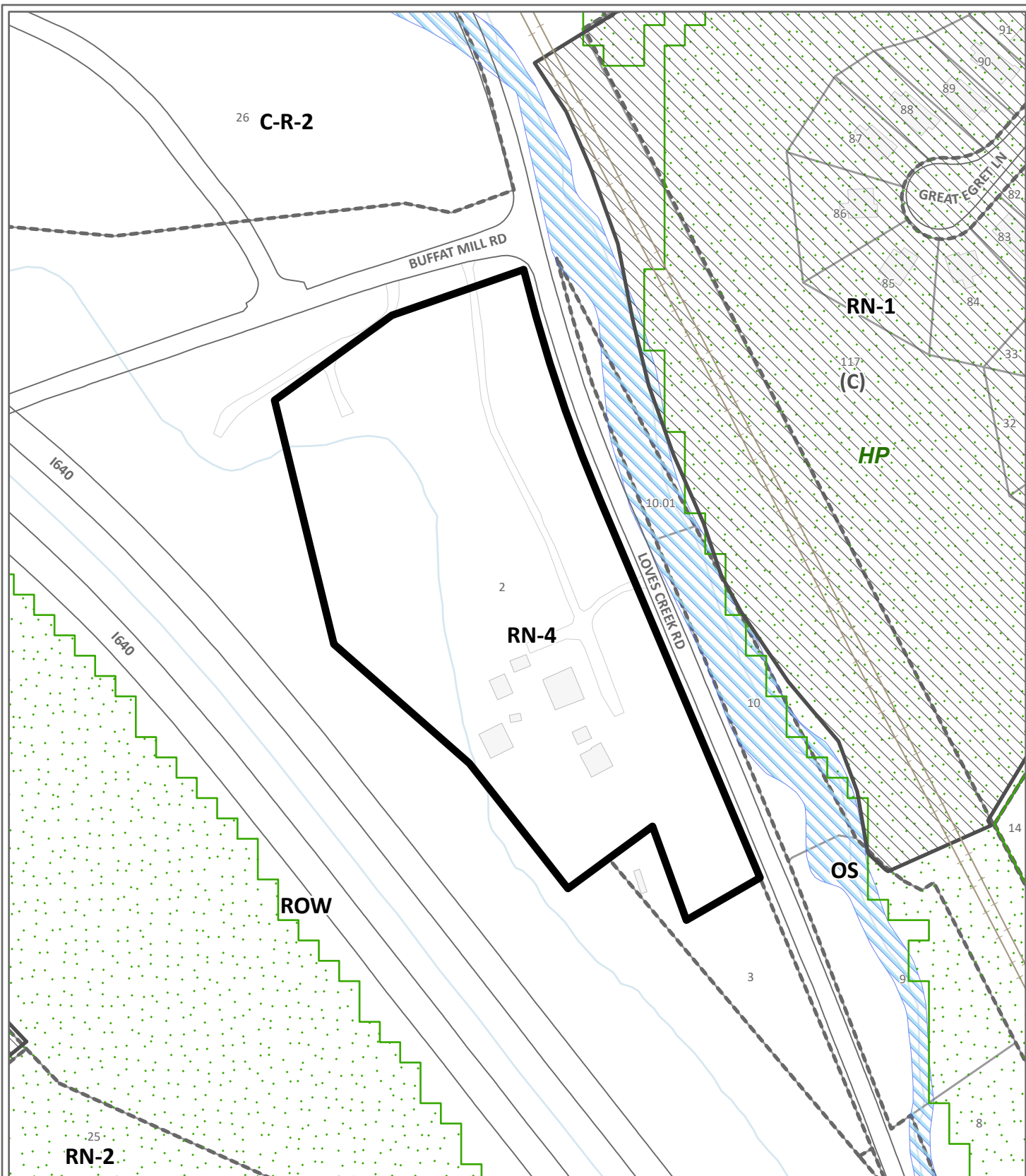
ESTIMATED TRAFFIC IMPACT: A traffic impact study was prepared by the applicant. The findings of that study were used in formulating the recommendations of this staff report.

ESTIMATED STUDENT YIELD: 8 (public school children, grades K-12)

Schools affected by this proposal: Ritta Elementary, Holston Middle, and Fulton High.

- Potential new school population is estimated using locally-derived data on public school student yield generated by new housing.
- Students are assigned to schools based on current attendance zones as determined by Knox County Schools. Students may request transfers to different zones, and zone boundaries are subject to change.
- Estimates presume full build-out of the proposed development. Build-out is subject to market forces, and timing varies widely from proposal to proposal.
- Student yields from new development do not reflect a net addition of children in schools. Additions occur incrementally over the build-out period. New students may replace current population that ages through the system or moves from the attendance zone.

The Planning Commission's approval or denial of this request is final, unless the action is appealed. For more information on the appeal process, contact Knoxville-Knox County Planning.



CONCEPT PLAN / DEVELOPMENT PLAN

8-SE-26-C / 8-C-26-SU



6-lot subdivision for multifamily development in RN-4 (General Residential Neighborhood)

Original Print Date: 7/1/2026

Knoxville - Knox County Planning Commission * City / County Building * Knoxville, TN 37902

Petitioner: The Preserves at Loves Creek, LLC

Map No: 60

Jurisdiction: City

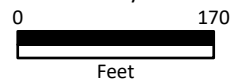


Exhibit A. Contextual Images



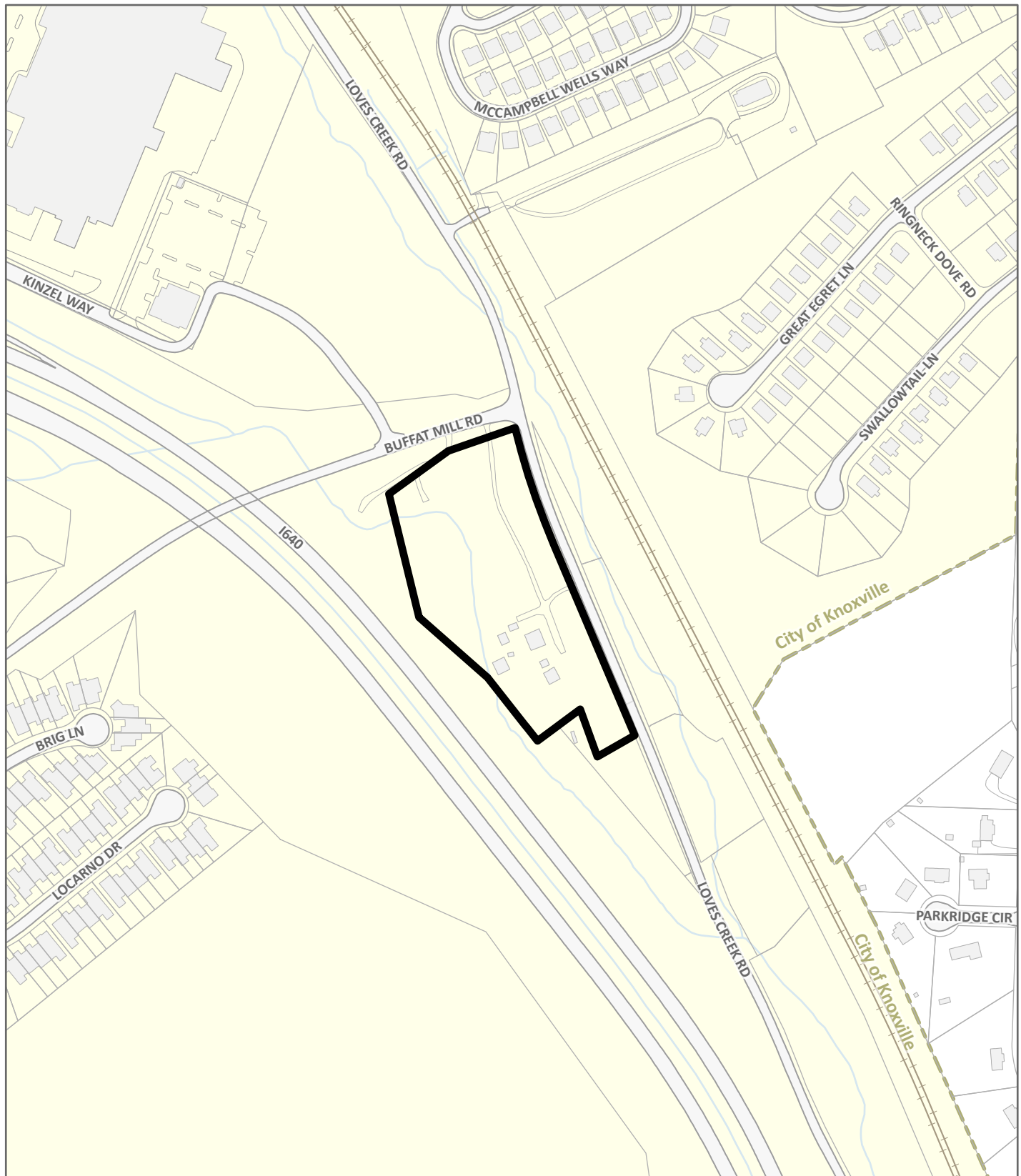
AERIAL MAP



Case boundary



Exhibit A. Contextual Images

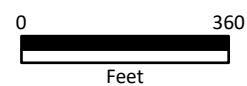


LOCATION MAP

8-C-26-SU / 8-SE-26-C



Case boundary



CONTRACTOR IS RESPONSIBLE FOR ALL TRENCH SAFETY

CONTRACTOR SHALL SHORE AND BRACE ALL OPEN CUT TRENCHES AS REQUIRED BY STATE AND FEDERAL LAWS AND LOCAL ORDINANCES; TO CONFORM WITH RECOMMENDATIONS SET FORTH IN AGC MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION; TO PROTECT LIFE, PROPERTY, OR WORK; TO AVOID EXCESSIVELY WIDE CUTS IN UNSTABLE MATERIAL.

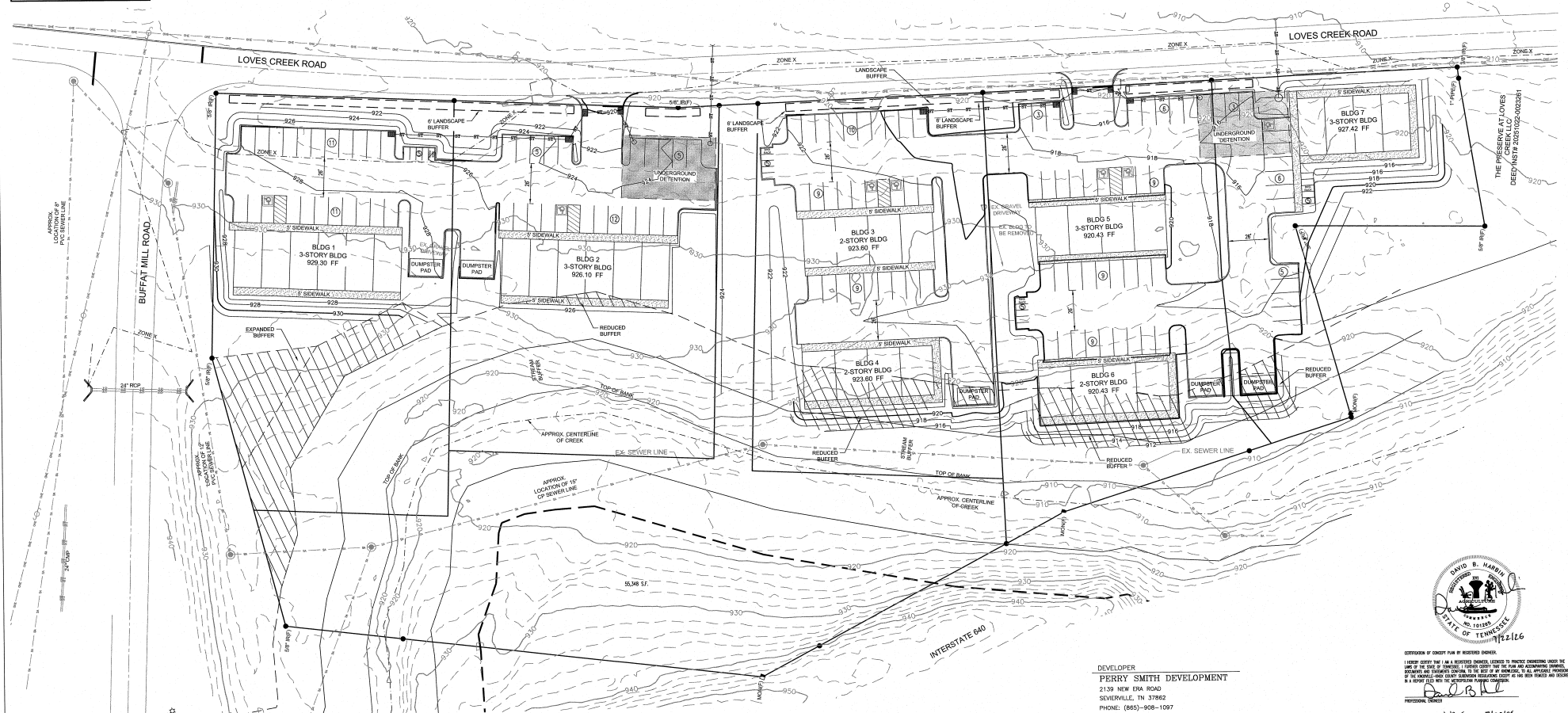
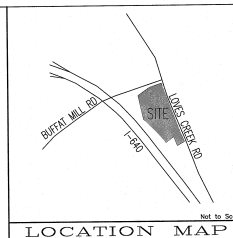
OSHA RULES SHALL BE ABIDED BY

NOTE:
THREE DAYS PRIOR TO ANY EARTHWORK OR CONSTRUCTION

CONTRACTOR MUST CONTACT:
TENNESSEE ONE-CALL
1-800-351-1111
RECORD AND SAVE YOUR CONFIRMATION NUMBER

CONTRACTOR TO NOTIFY ENGINEER
BEFORE START OF CONSTRUCTION

PRELIMINARY NOT FOR CONSTRUCTION

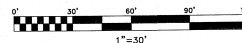


 **BATSON, HIMES, NORVELL & POE**
REGISTERED ENGINEERS & LAND SURVEYORS
4334 PAPERMILL DRIVE
KNOXVILLE, TENNESSEE 37909
PHONE: (865) 588-6472
FAX: (865) 588-6473
emo@bhn-p.com

[illegible]

SCALE
HORIZONTAL: 1" = 30'
VERTICAL: 1" INTERVAL
DATE
6/29/26

DEED REFERENCES: DEED INST# 2025102200232361



GRADING & DRAINAGE PLAN FOR
LOVES CREEK LOFTS
TAX MAP 0601, GROUP C, PARCEL 00.300
32ND WARD, CITY OF KNOXVILLE, KNOX COUNTY, TENNESSEE

CERTIFICATION OF CONCEPT PLAN BY REGISTERED ENGINEER.

I HEREBY CERTIFY THAT I AM A REGISTERED ENGINEER, LICENSED TO PRACTICE ENGINEERING UNDER THE LAWS OF THE STATE OF TENNESSEE. I FURTHER CERTIFY THAT THE PLAN AND ACCOMPANYING DRAWINGS, DOCUMENTS AND EXHIBITS CONFORM TO THE BEST OF MY KNOWLEDGE, TO ALL APPLICABLE PROVISIONS OF THE HIGHWAY-BUILD COUNTY VARIATION REGULATIONS EXCEPT AS HAS BEEN INDICATED AND DESCRIBED IN A REPORT FILED WITH THE METROPOLITAN PLANNING COMMISSION.

David B. Bell

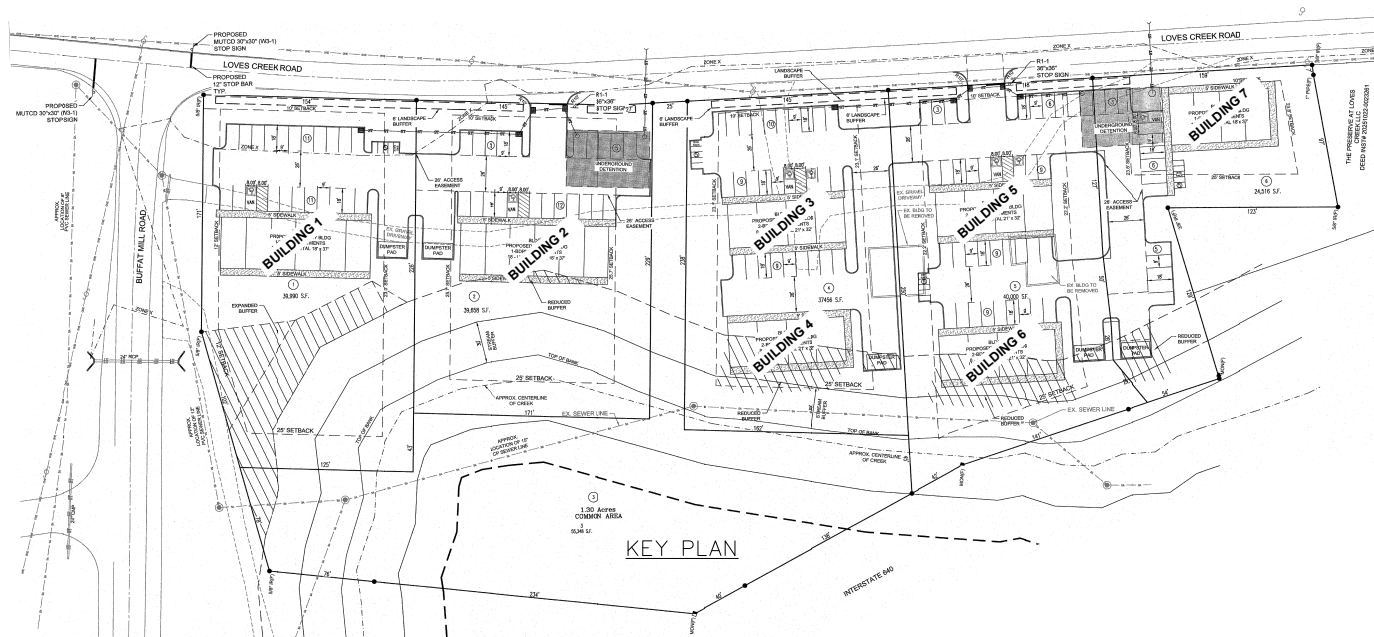
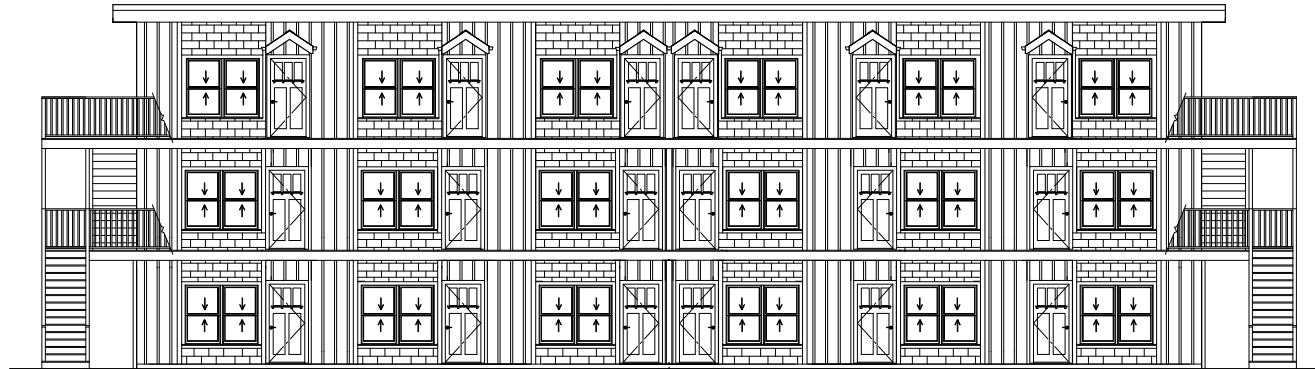
PROFESSIONAL ENGINEER

INVESTIGATION NO. 101265 DATE 7/22/26

25485-GP

SHEET 2 OF 2 SHEET(S)

THE PRESERVE AT LOVE'S CREEK KNOXVILLE, TENNESSEE



PROJECT DIRECTORY	
PROJECT ARCHITECT	
JAMES D. SMITH 522 BAY LANE CENTERVILLE, MA 02632 PHONE: 508-897-8920 EMAIL: JAMES@SMITH110COMCAST.NET	
PROJECT DEVELOPER	
PERRY SMITH DEVELOPMENT PO BOX 1000 2339 NEW ERA ROAD 1 SEVENVILLE, TN 37863	GARLA WALKER PERRY SMITH DEVELOPMENT 2339 NEW ERA ROAD 1 SEVENVILLE, TN 37863
	

SHEET INDEX	
ARCHITECTURAL	
T1	TITLE SHEET
T2	CODE INFORMATION; LIFE SAFETY
A1A	BUILDING ONE ELEVATIONS
A1B	BUILDING ONE ELEVATIONS/SECTION
A1C	BUILDING ONE FIRST FLOOR PLAN
A1D	BUILDING ONE SECOND FLOOR PLAN
A1E	BUILDING ONE THIRD FLOOR PLAN
A1F	BUILDING ONE FOUNDATION PLAN
A1G	BUILDING ONE FLOOR FRAMING PLANS
A1H	BUILDING ONE ROOF FRAMING PLAN
A2A	BUILDING TWO ELEVATIONS
A2B	BUILDING TWO ELEVATIONS/SECTION
A2C	BUILDING TWO FIRST FLOOR PLAN
A2D	BUILDING TWO SECOND FLOOR PLAN
A2E	BUILDING TWO THIRD FLOOR PLAN
A2F	BUILDING TWO FOUNDATION PLAN
A2G	BUILDING TWO FLOOR FRAMING PLANS
A2H	BUILDING TWO ROOF FRAMING PLAN
A3A	BUILDING THREE ELEVATIONS
A3B	BUILDING THREE ELEVATIONS/SECTION
A3C	BUILDING THREE FLOOR PLANS
A3D	BUILDING THREE FLOOR FRAMING PLANS
A3E	BUILDING THREE ROOF FRAMING PLAN
A4A	BUILDING FOUR ELEVATIONS
A4B	BUILDING FOUR ELEVATIONS/SECTION
A4C	BUILDING FOUR FLOOR PLANS
A4D	BUILDING FOUR FLOOR FRAMING PLANS
A4E	BUILDING FOUR ROOF FRAMING PLAN
A5A	BUILDING FIVE ELEVATIONS
A5B	BUILDING FIVE ELEVATIONS/SECTION
A5C	BUILDING FIVE FLOOR PLANS
A5D	BUILDING FIVE FLOOR FRAMING PLANS
A5E	BUILDING FIVE ROOF FRAMING PLAN
A6A	BUILDING SIX ELEVATIONS
A6B	BUILDING SIX ELEVATIONS/SECTION
A6C	BUILDING SIX FLOOR PLANS
A6D	BUILDING SIX FLOOR FRAMING PLANS
A6E	BUILDING SIX ROOF FRAMING PLAN
A7A	BUILDING SEVEN ELEVATIONS
A7B	BUILDING SEVEN ELEVATIONS/SECTION
A7C	BUILDING SEVEN FIRST FLOOR PLAN
A7D	BUILDING SEVEN SECOND FLOOR PLAN
A7E	BUILDING SEVEN THIRD FLOOR PLAN
A7F	BUILDING SEVEN FOUNDATION PLAN
A7G	BUILDING SEVEN FLOOR FRAMING PLANS
A7H	BUILDING SEVEN ROOF FRAMING PLAN
E1	ELECTRICAL PLANS
P1	PLUMBING PLANS
M1	MECHANICAL PLANS

JAMES D. SMITH,
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522 BAY LANE, CENTERVILLE, MA 02632
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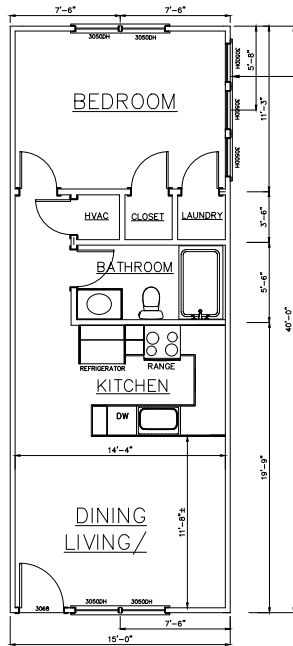


NO.	REVISIONS	BY	DATE
1	ISSUED FOR PERMIT	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
TITLE SHEET / KEY PLAN
SHEET INDEX

SHEET
T1

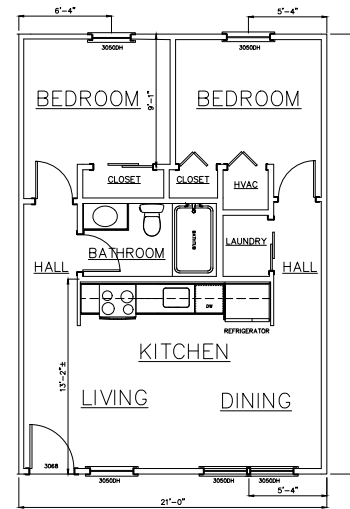
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



TYPICAL ONE BEDROOM UNIT



TYPICAL TWO BEDROOM UNIT
FIRST FLOOR FACING LOVE'S CREEK RD.



TYPICAL TWO BEDROOM UNIT
SECOND FLOOR FACING LOVE'S CREEK RD.

LIFE SAFETY PLANS SCALE: 1/8" = 1'-0"

PROJECT INFO

CONTRACTOR IS TO BUILD TO THE MOST CURRENT ADOPTED VERSION OF THE INTERNATIONAL RESIDENTIAL CODE AND CODES BY ALL LOCAL BUILDING AND ZONING CODES AND ORDINANCES:
INTERNATIONAL BUILDING CODE, 2018 EDITION
INTERNATIONAL RESIDENTIAL CODE, 2018 EDITION
INTERNATIONAL FIRE AND LIFE SAFETY CODE, 2018 EDITION
INTERNATIONAL ENERGY CONSERVATION CODE, 2018 EDITION (AMENDED)
INTERNATIONAL MECHANICAL CODE, 2018 EDITION
INTERNATIONAL PLUMBING CODE, 2018 EDITION
INTERNATIONAL ELECTRICAL CODE, 2018 EDITION
INTERNATIONAL SCHEDULING CODE, 2018 EDITION
NFPA 101 LIFE SAFETY CODE, 2018 EDITION
ICC A117.1 ACCESSIBILITY CODE, 2018 EDITION

CONSTRUCTION TYPE: VB - SPR W/LED (WITH METRIC FIRE SUPPRESSION SYSTEM & METERS FIRE ALARM SYSTEM)

ALLOWABLE HEIGHT

	ALLOWABLE PER TABLE 500	SPRINKLER INCREASE	SHOWN ON PLANS	CODE REFERENCE
CONSTRUCTION TYPE	TYPE Vb		TYPE Vb	IBC TABLE 503
BUILDING HEIGHT IN FEET	40'-0"	N/A	30'-8"	IBC TABLE 503
BUILDING HEIGHT IN STORES	3 STORY	N/A	3 STORY	IBC TABLE 503

FIRE PROTECTION REQUIREMENTS

	SEPARATION DISTANCE	REQUIRED RATING	PROVIDED RATING	PERCENT OPENINGS	CODE REFERENCE OR TEST #
FLOOR CONSTRUCTION	30 MIN	1-HOUR			IBC 708.3 & TABLE 7216.2(1)
ROOF CONSTRUCTION	30 MIN	30 MIN			
EXIT SHAFT ENCLOSURES	N/A	N/A			
OTHER SHAFT ENCLOSURE	N/A	N/A			
CORRIDOR SEPARATION	N/A	N/A			
OCCUPANCY SEPARATION	N/A	N/A			
PARTY/FIRE WALLS	N/A	N/A			
TOWNHOUSE SEPARATION	2 HOUR	2 HOUR			GA TEST #WP261
TENANT SEPARATION	30 MIN	1-HOUR			GA TESTS # WP366 & FC 406
INCIDENTAL USE	N/A	N/A			
NC - NON-COMBUSTIBLE N/A - NOT APPLICABLE IBC - INTERNATIONAL BUILDING CODE					UL - UNDERWRITERS LABORATORIES GA - GYPSUM ASSOCIATION

LIFE SAFETY SYSTEM REQUIREMENTS

	REQUIRED	PROVIDED
FIRE EXTINGUISHERS - IBC 906	YES	YES
SMOKE DETECTION - IBC 907.2(2)	YES	YES
ACCESSIBLE ENTRANCE OR EXIT - IBC 105	YES	YES

LIFE SAFETY SCHEDULE

ROOM NAME	AREA	OCCUPANT LOAD		EXIT CAPACITY		# OF EXITS		TRAVEL DISTANCE					
		SF PER PERSON	PEOPLE	IN PER PERSON	REQUIRED INCHES	ACTUAL INCHES	REQUIRED	PROVIDED	COMMON PATH OF TRAVEL	EXIT ACCESS	TO EXIT DISCHARGE	TO PUBLIC WAY	ACTUAL TRAVEL DISTANCE
ONE BEDROOM UNIT													
LIVING/DINING	181	200	1	0.2	32"	3325"	1	1					
BEDROOM	170	200	1	0.2	32"	3325"	1	1					
CLOSET	10	-	-	0.2	32"	3325"	1	1					
BATH	60	-	-	0.2	32"	3325"	1	1					
KITCHEN	84	200	-	0.2	32"	3325"	1	1					
HVAC CLOSET	12	-	-	0.2	32"	3325"	1	1					
LAUNDRY	20	-	-	0.2	32"	3325"	1	1					
HALL	12	-	-	0.2	32"	3325"	1	1					
TOTAL OCCUPANT LOAD													
	600	200	2										
TWO BEDROOM UNIT													
LIVING/DINING	200	200	1	0.2	32"	3325"	1	1					
BEDROOMS	204	200	2	0.2	32"	3325"	1	1					
CLOSET	10	-	-	0.2	32"	3325"	1	1					
BATH	60	-	-	0.2	32"	3325"	1	1					
KITCHEN	84	200	-	0.2	32"	3325"	1	1					
HVAC CLOSET	12	-	-	0.2	32"	3325"	1	1					
LAUNDRY	20	-	-	0.2	32"	3325"	1	1					
HALLS	40	-	-	0.2	32"	3325"	1	1					
TOTAL OCCUPANT LOAD													
	630	200	3										

ACTUAL BUILDING AREA SUMMARY

BLDG. #	FIRST FLOOR	SECOND FLOOR	THIRD FLOOR	TOTAL	1 BDRM. UNITS	2 BDRM. UNITS	SPRINKLER
1	4,228 SF	4,228 SF	4,228 SF	12,684 SF	21	0	YES
2	3,019 SF	3,019 SF	N/A	6,038 SF	10	0	YES
3	3,798 SF	3,798 SF	N/A	7,596 SF	0	12	YES
4	2,531 SF	2,531 SF	2,531 SF	7,593 SF	0	12	YES
TOTAL	13,576 SF	13,576 SF	6,759 SF	33,911 SF	31	24	

BUILDING DATA

AS PER 2015 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC)		TYPE Vb
CONSTRUCTION TYPE		SEE TABLE ABOVE
FULLY SPRINKLED		NO
STANDPIPES		NO
FIRE DISTRICT		YES
FLOOD HAZARD AREA		2 STORY / 3 STORY
BUILDING HEIGHT		4,228 SF
LARGEST FLOOR AREA		

ALLOWABLE AREA

PRIMARY OCCUPANCY		RESIDENTIAL R-2				
SECONDARY OCCUPANCY		NONE				
SPECIAL USE		NONE				
SPECIAL PROVISIONS		NONE				
MIXED OCCUPANCY		NO				
BUILDING NO.	USE	LARGEST FLOOR AREA PER PLANS	TABLE 500 AREA	AREA FOR FRONTAGE INCREASE	AREA FOR SPRINKLER INCREASE	MAXIMUM ALLOWABLE AREA
1	R-2	4,228 SF	7,000 SF	3,500 SF	N/A	10,500 SF
2	R-2	3,019 SF	7,000 SF	3,500 SF	N/A	10,500 SF
3	R-2	3,798 SF	7,000 SF	3,500 SF	N/A	10,500 SF
4	R-2	2,531 SF	7,000 SF	3,500 SF	N/A	10,500 SF

JAMES D. SMITH,
ARCHITECT

522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-867-8920 EMAIL: JAMES@JDSMITHARCHITECT.NET

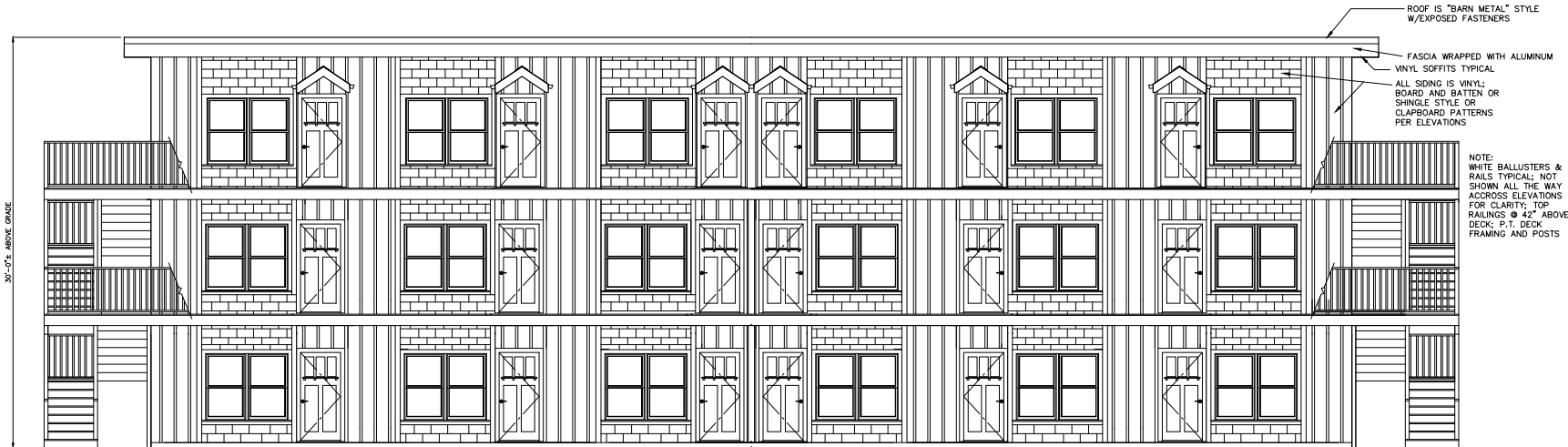


NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
CODE INFORMATION & LIFE SAFETY

SHEET
T2

FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING ONE FRONT ELEVATION (FACING LOVE'S CREEK RD.)

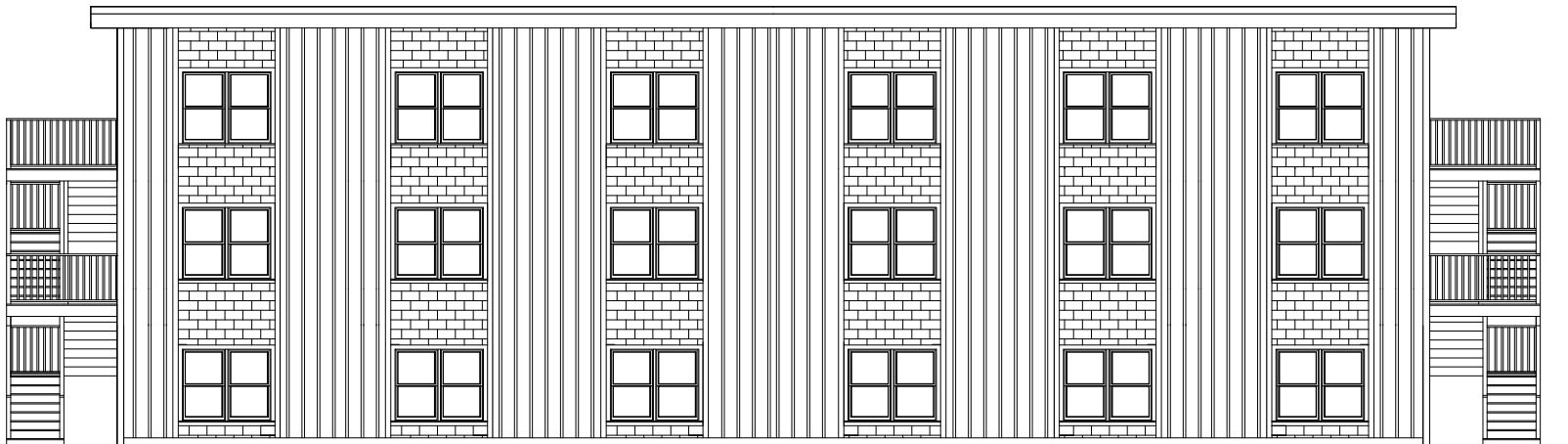
SCALE: 1/4" = 1'-0"

NOTE:

*ALUMINUM GUTTERS & DOWNSPOUTS (NOT SHOWN) TO BE PROVIDED / LOCATIONS PER OWNER/DEVELOPER & TIED TO STORM DRAINAGE SYSTEM

TRANSPARENCY REQUIREMENT

PER THE ZONING ORDINANCE OF THE CITY OF KNOXVILLE, TENNESSEE, PAGE 269, 3.B TRANSPARENCY REQUIREMENT FOR MULTI-FAMILY HOUSING, 20% OF THE TOTAL AREA OF THE FRONT FACING ELEVATION MUST BE TRANSPARENT
BUILDING ONE CALCULATION:
FRONT (LOVE'S CREEK RD.) ELEVATION
AREA = 2,610 SF x 20% = 502 S.F.
GLASS REQUIRED; GLASS PROVIDED = 540 S.F. COMPLIES



BUILDING ONE REAR ELEVATION

SCALE: 1/4" = 1'-0"

(SEE ELEVATION ABOVE FOR TYPICAL FINISH NOTES)

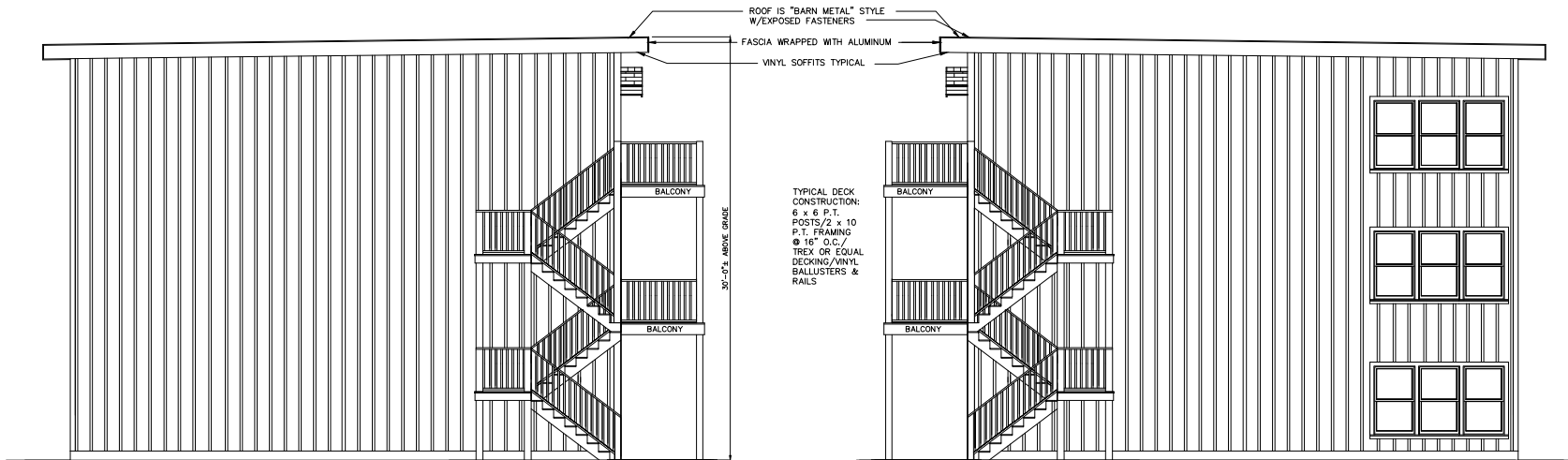
JAMES D. SMITH,
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PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26
2			
3			
4			
5			

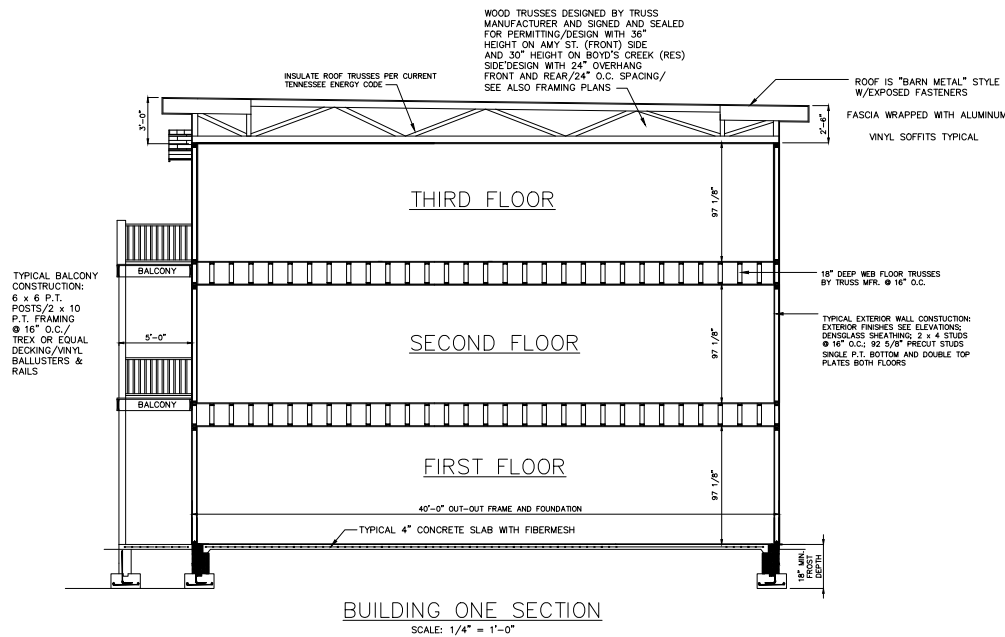
JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING ONE ELEVATIONS
3 STORY/6 UNITS WIDE/18 UNITS TOTAL

SHEET
A1A
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



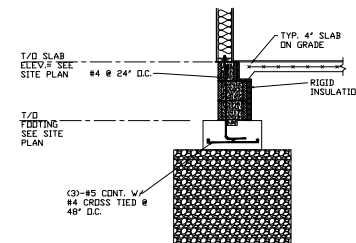
BUILDING ONE LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING ONE RIGHT SIDE ELEVATION
(FACING BUFFAT MILL RD.)
SCALE: 1/4" = 1'-0"



BUILDING ONE SECTION
SCALE: 1/4" = 1'-0"

TRANSPARENCY REQUIREMENT
PER THE ZONING ORDINANCE OF THE CITY OF KNOXVILLE, TENNESSEE, PAGE 269 3.B TRANSPARENCY REQUIREMENT FOR MULTI-FAMILY HOUSING, 20% OF THE TOTAL AREA OF THE FRONT FACING ELEVATION MUST BE TRANSPARENT
BUILDING ONE CALCULATION:
RIGHT SIDE (FACING BUFFAT MILL RD.)
AREA = 1,160 SF x 20% = 232 S.F.
GLASS REQUIRED; GLASS PROVIDED = 270 S.F. COMPLIES



DETAIL 1/A1B
TYPICAL EXTERIOR WALL DETAIL
SCALE: 1/2" = 1'-0"

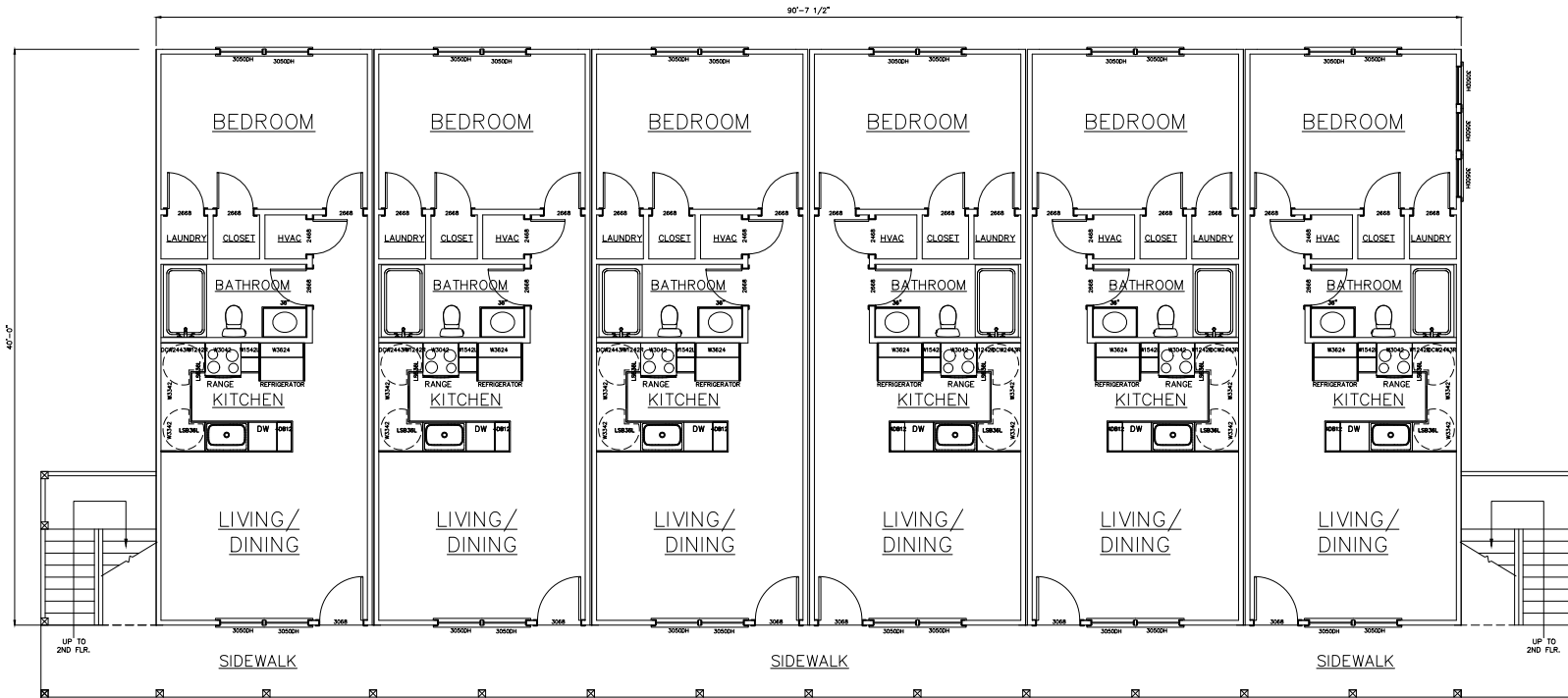
**JAMES D. SMITH,
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PHONE: 508-387-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING ONE ELEVATIONS / SECTION
3 STORY/6 UNITS WIDE/18 UNITS TOTAL

SHEET
A1B
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING ONE FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

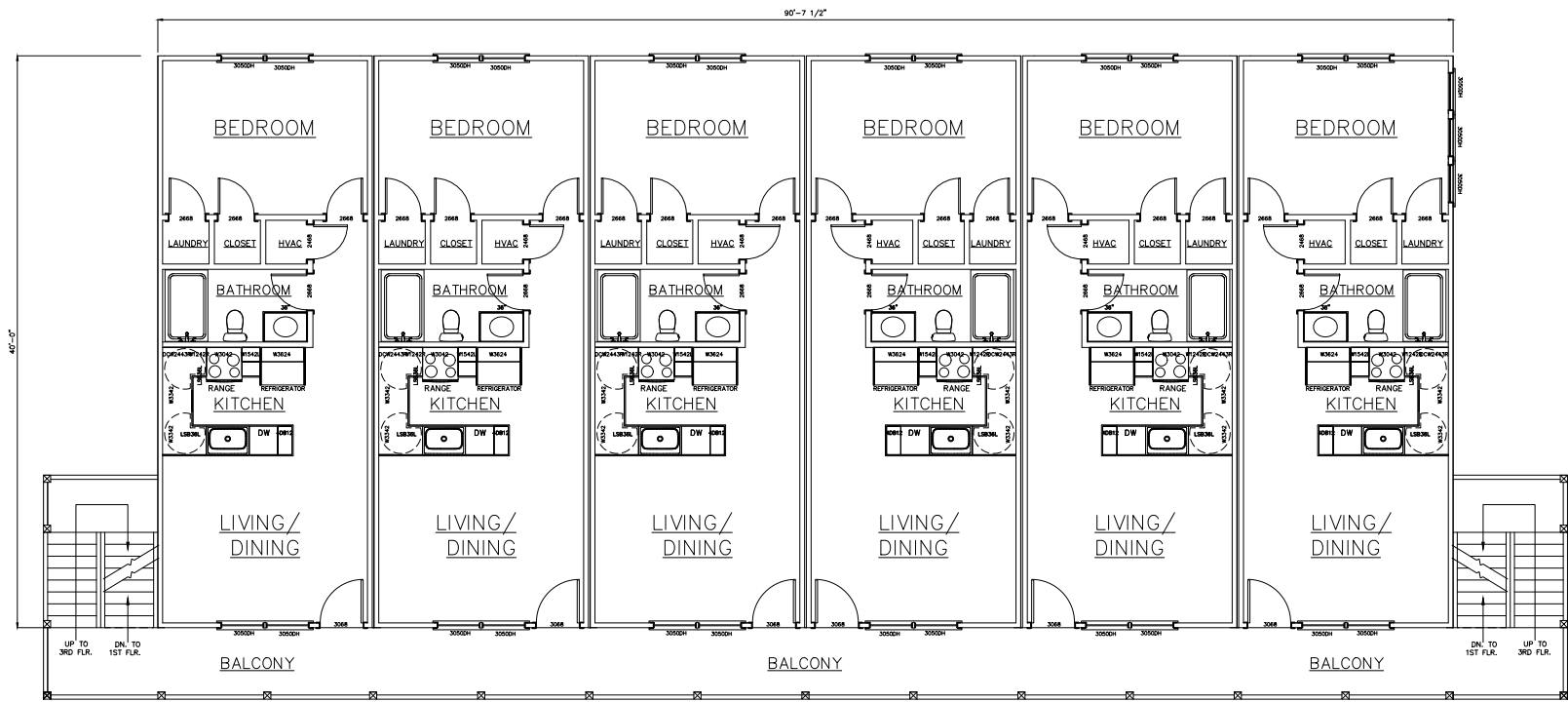
**JAMES D. SMITH,
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522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-867-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING ONE FIRST FLOOR PLAN
3 STORY/6 UNITS WIDE/18 UNITS TOTAL

SHEET
A1C
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING ONE SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

**JAMES D. SMITH,
ARCHITECT**

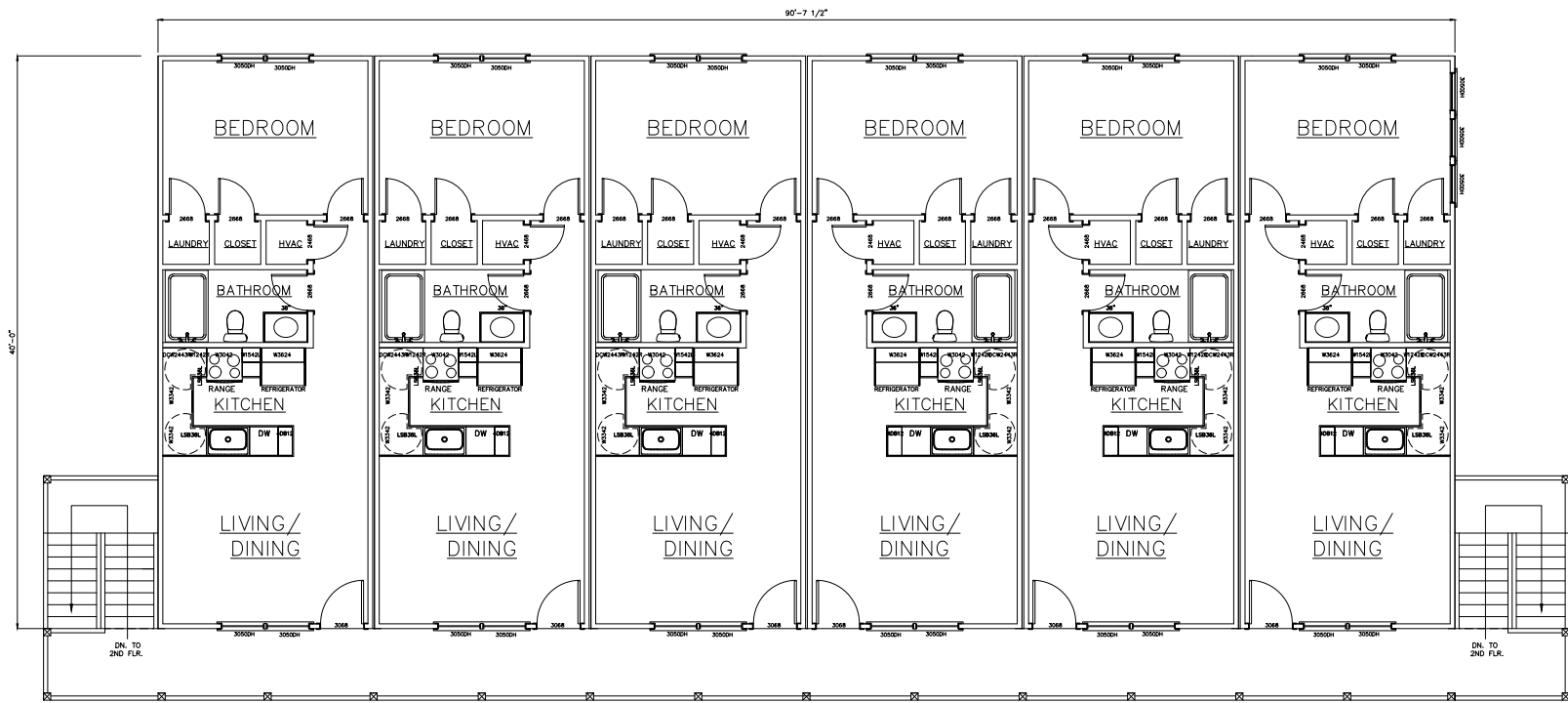
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

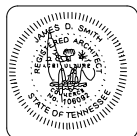
JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING ONE SECOND FLOOR PLAN
3 STORY/6 UNITS WIDE/18 UNITS TOTAL

SHEET
A1D
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING ONE THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

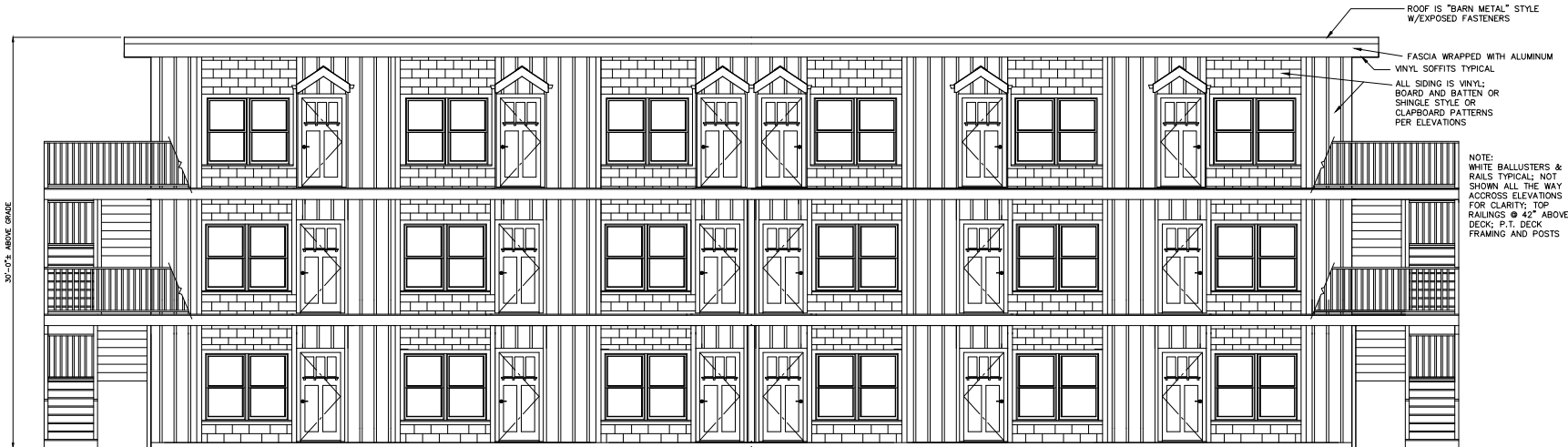
**JAMES D. SMITH,
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PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



REVISIONS		DATE
NO.	DESCRIPTION	BY
1	INITIAL ISSUE	JDS
2		
3		
4		
5		
6		
7		
8		
9		
10		

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING ONE THIRD FLOOR PLAN
3 STORY/6 UNITS WIDE/18 UNITS TOTAL

SHEET
A1E
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING TWO FRONT ELEVATION (FACING LOVE'S CREEK RD.)

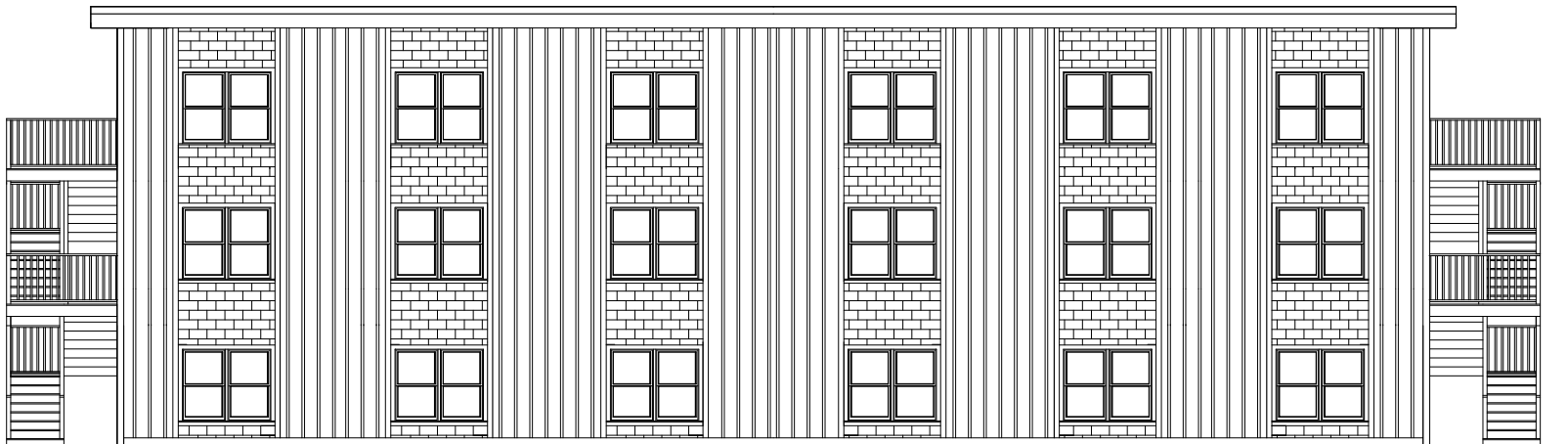
SCALE: 1/4" = 1'-0"

NOTE:

*ALUMINUM GUTTERS & DOWNSPOUTS (NOT SHOWN) TO BE PROVIDED / LOCATIONS PER OWNER/DEVELOPER & TIED TO STORM DRAINAGE SYSTEM

TRANSPARENCY REQUIREMENT

PER THE ZONING ORDINANCE OF THE CITY OF KNOXVILLE, TENNESSEE, PAGE 269, 3.B TRANSPARENCY REQUIREMENT FOR MULTI-FAMILY HOUSING, 20% OF THE TOTAL AREA OF THE FRONT FACING ELEVATION MUST BE TRANSPARENT
BUILDING TWO CALCULATION:
FRONT (LOVE'S CREEK RD.) ELEVATION
AREA = 2,610 SF x 20% = 522 S.F.
GLASS REQUIRED, GLASS PROVIDED = 540 S.F. COMPLIES



BUILDING TWO REAR ELEVATION

SCALE: 1/4" = 1'-0"

(SEE ELEVATION ABOVE FOR TYPICAL FINISH NOTES)

**JAMES D. SMITH,
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PHONE: 508-867-8920 EMAIL: JAMESDSMITH@COMCAST.NET

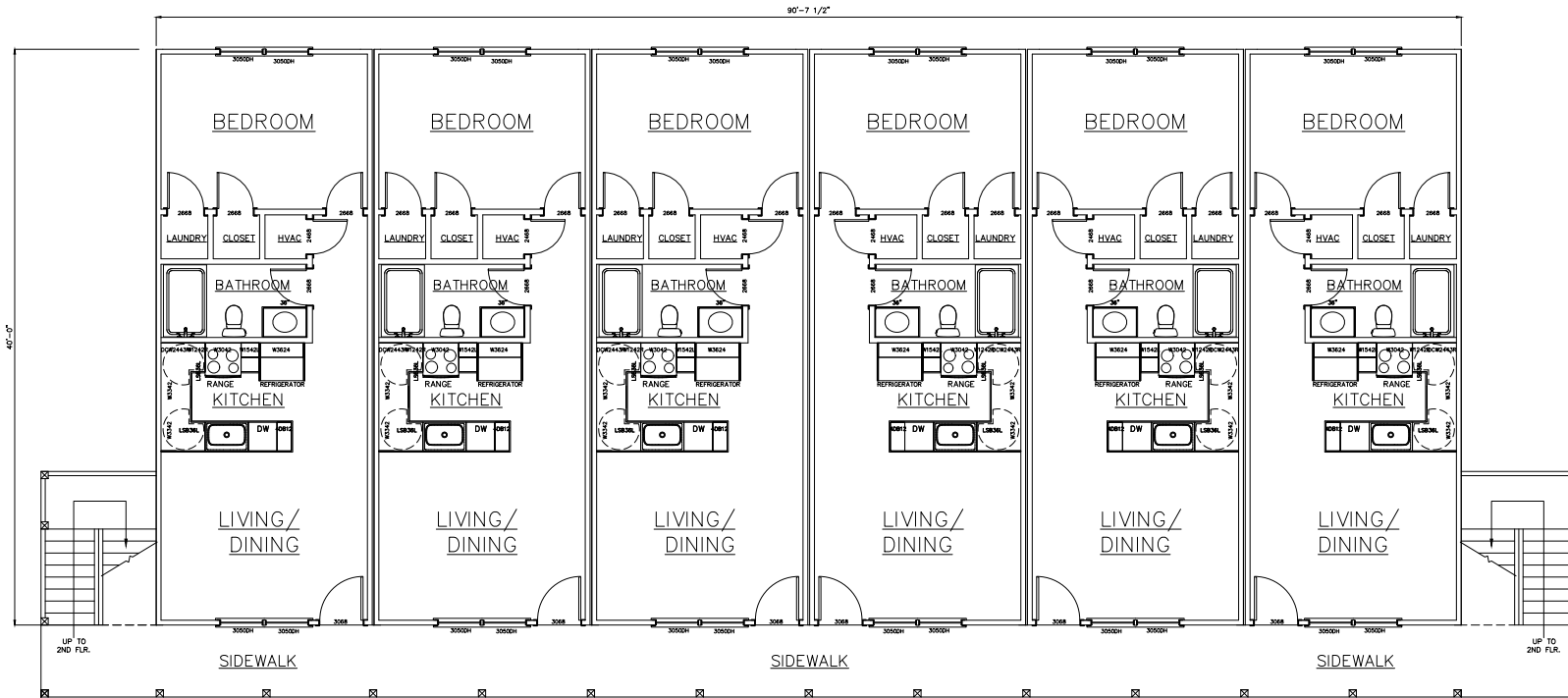


NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING TWO ELEVATIONS
3 STORY/6 UNITS WIDE/18 UNITS TOTAL

SHEET
A2A
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A

FILE#:	JDS26057
DATE:	08/04/26
PROJ. MGR.	JDS
C.M.	N/A



BUILDING TWO FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

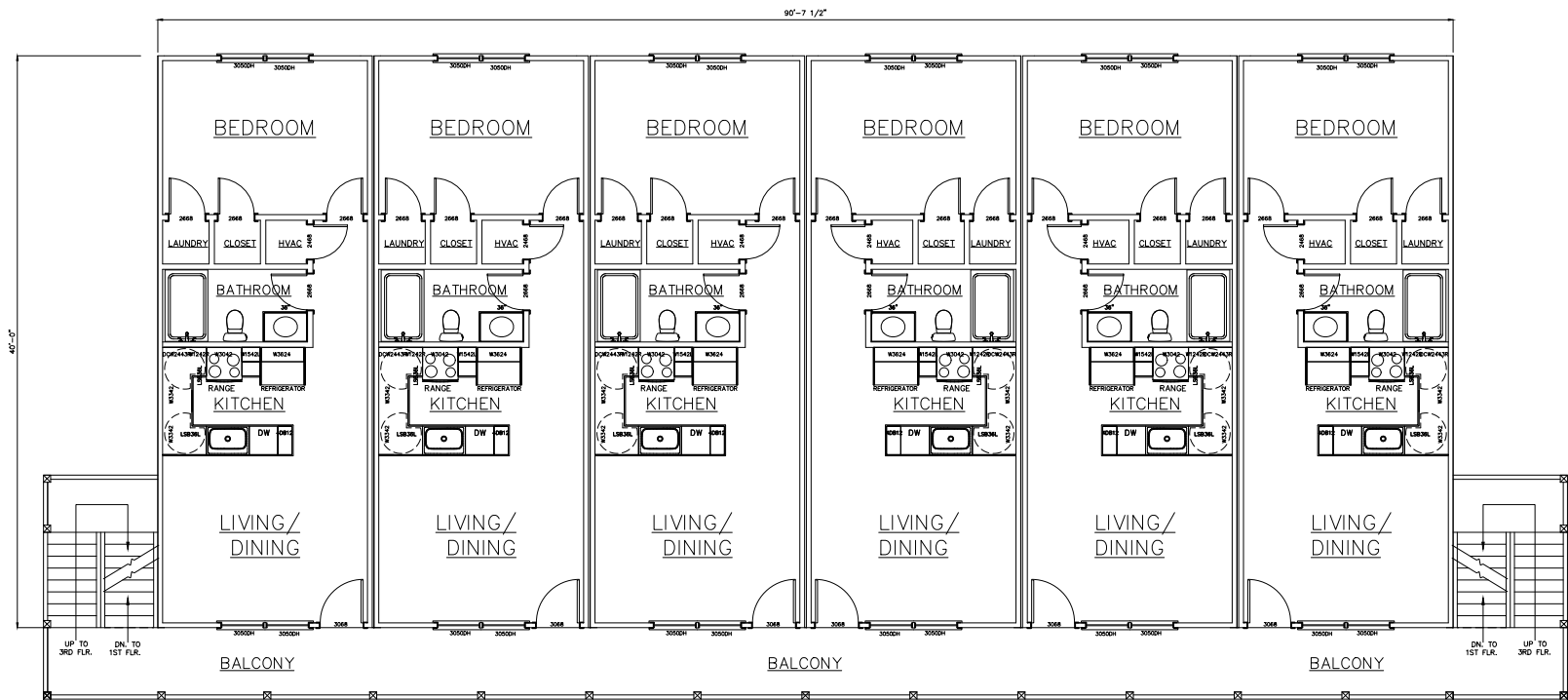
JAMES D. SMITH,
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PHONE: 508-867-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING TWO FIRST FLOOR PLAN
3 STORY/6 UNITS WIDE/18 UNITS TOTAL

SHEET
A2C
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING TWO SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

**JAMES D. SMITH,
ARCHITECT**

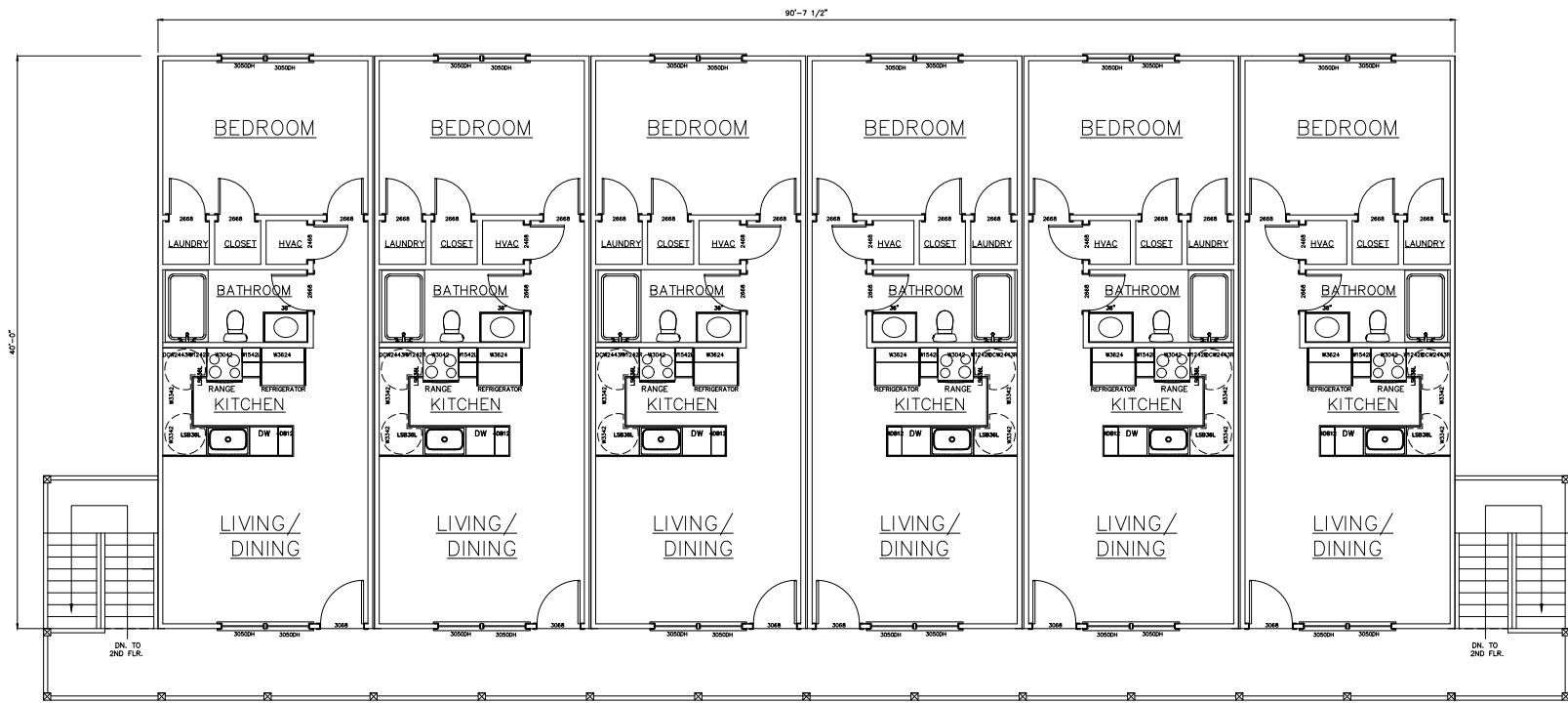
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

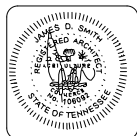
JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING TWO SECOND FLOOR PLAN
3 STORY/6 UNITS WIDE/18 UNITS TOTAL

SHEET
A2D
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING TWO THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

**JAMES D. SMITH,
ARCHITECT**
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-867-8920 EMAIL: JAMESDSMITH@COMCAST.NET



REVISIONS	
NO.	DESCRIPTION
1	INITIAL ISSUE JDS 07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING TWO THIRD FLOOR PLAN
3 STORY/6 UNITS WIDE/18 UNITS TOTAL

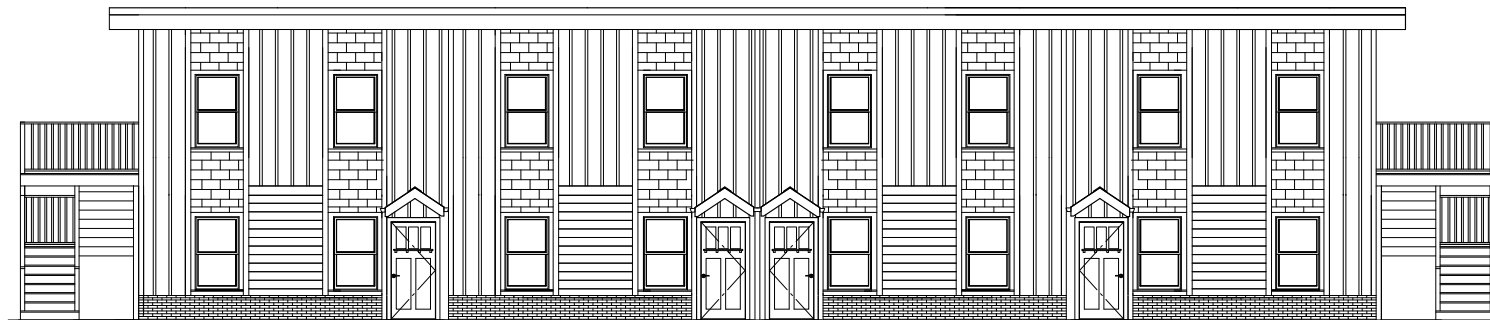
SHEET
A2E
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING THREE FRONT ELEVATION (FACING LOVE'S CREEK RD.)
SCALE: 1/4" = 1'-0"

TRANSPARENCY REQUIREMENT

PER THE ZONING ORDINANCE OF THE CITY OF KNOXVILLE, TENNESSEE,
PAGE 289 3.B TRANSPARENCY REQUIREMENT FOR MULTI-FAMILY
HOUSING: 20% OF THE TOTAL AREA OF THE FRONT FACING
ELEVATION MUST BE TRANSPARENT
BUILDING THREE CALCULATION: AREA = 1,700 SF x 20% = 340 S.F.
GLASS REQUIRED; GLASS PROVIDED = 360 S.F. COMPLIES



BUILDING THREE REAR ELEVATION
SCALE: 1/4" = 1'-0"

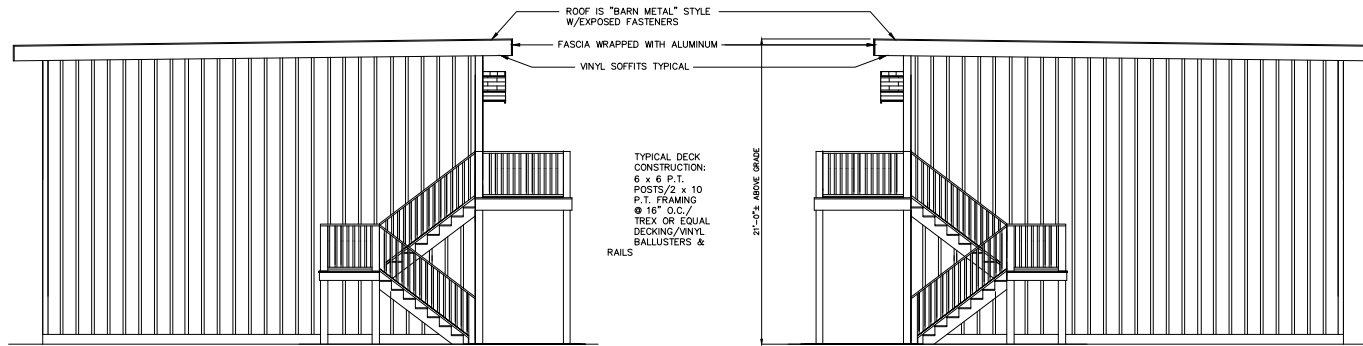
**JAMES D. SMITH,
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PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



REVISIONS		NO.	DESCRIPTION	BY	DATE
		1	INITIAL ISSUE	JDS	07/14/26

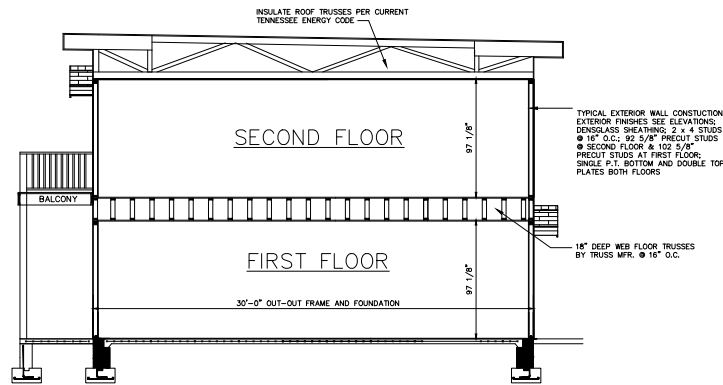
JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING THREE ELEVATIONS
2 STORY/4 UNITS WIDE/8 UNITS TOTAL

SHEET
A3A
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A

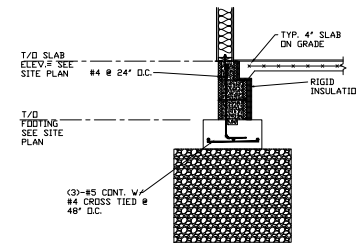


BUILDING THREE LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING THREE RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING THREE SECTION
SCALE: 1/4" = 1'-0"



DETAL 1/A3B
TYPICAL EXTERIOR WALL DETAIL
SCALE: 1/2" = 1'-0"

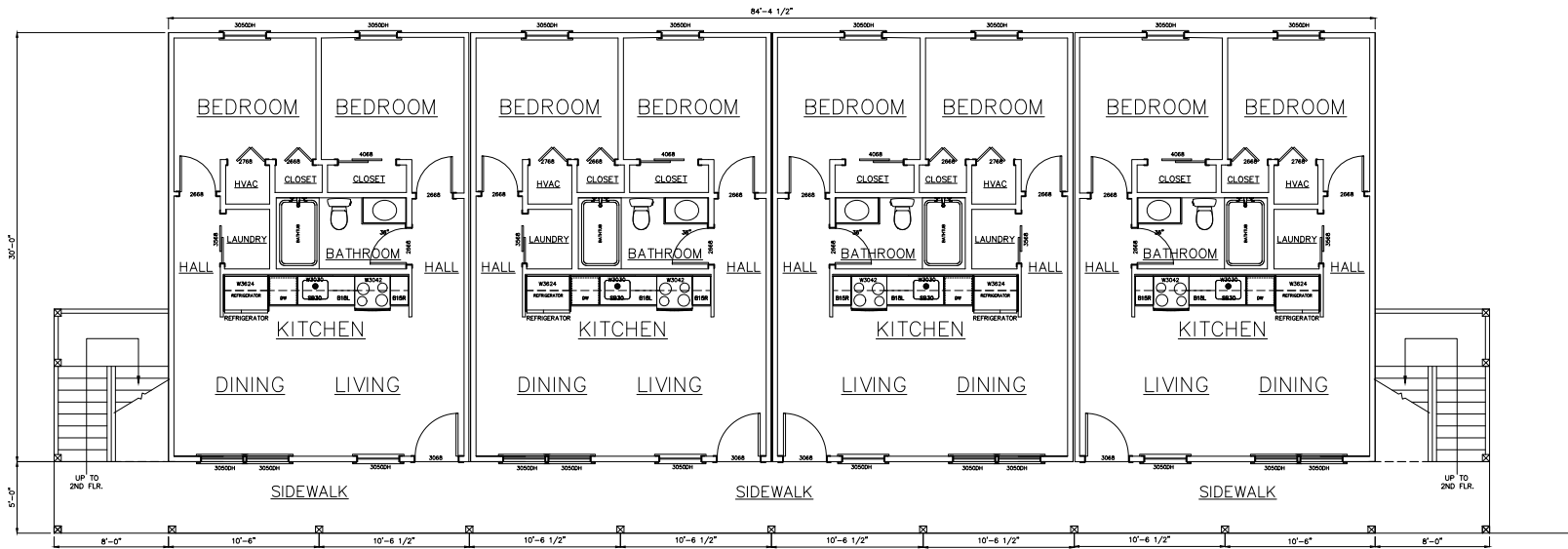
**JAMES D. SMITH,
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PHONE: 508-367-8920 EMAIL: JAMES@SMITH10COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26
2			
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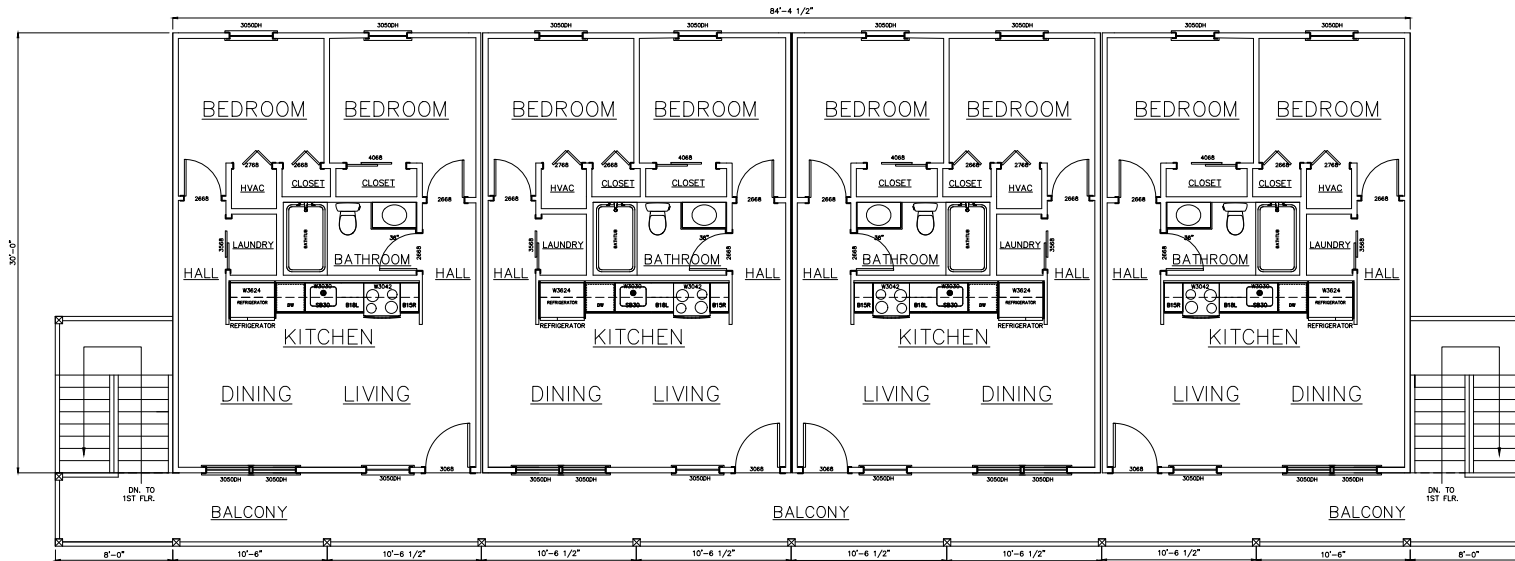
JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING THREE ELEVATIONS / SECTION
2 STORY/4 UNITS WIDE/8 UNITS TOTAL

SHEET
A3B
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING THREE FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



BUILDING THREE SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

**JAMES D. SMITH,
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NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING THREE FLOOR PLANS
2 STORY/4 UNITS WIDE/8 UNITS TOTAL

SHEET
A3C
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A

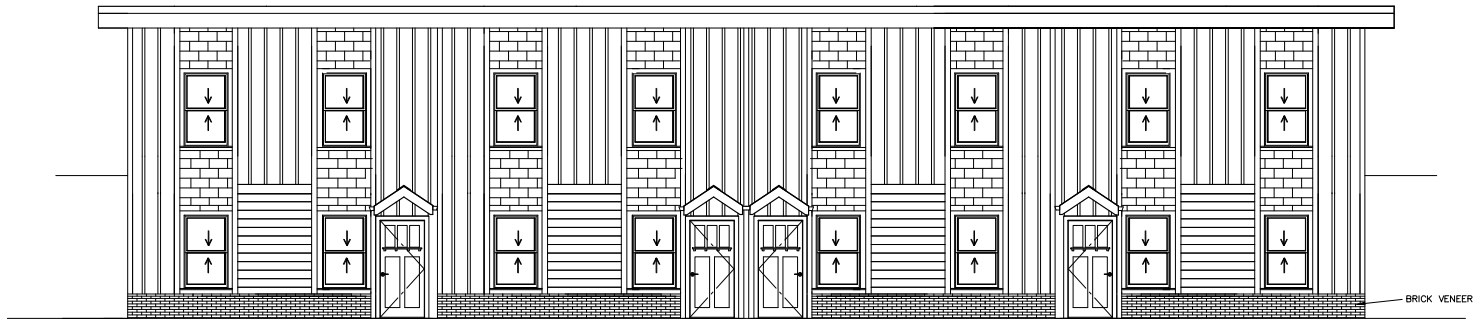


BUILDING FOUR FRONT ELEVATION (FACING LOVE'S CREEK RD.)

SCALE: 1/4" = 1'-0"

TRANSPARENCY REQUIREMENT

PER THE ZONING ORDINANCE OF THE CITY OF KNOXVILLE, TENNESSEE,
PAGE 269 3.B TRANSPARENCY REQUIREMENT FOR MULTI-FAMILY
HOUSING, 20% OF THE TOTAL AREA OF THE FRONT FACING
ELEVATION MUST BE TRANSPARENT
BUILDING FOUR CALCULATION: AREA = 1,700 SF x 20% = 340 S.F.
GLASS REQUIRED; GLASS PROVIDED = 360 S.F. COMPLIES



BUILDING FOUR REAR ELEVATION

SCALE: 1/4" = 1'-0"

**JAMES D. SMITH,
ARCHITECT**

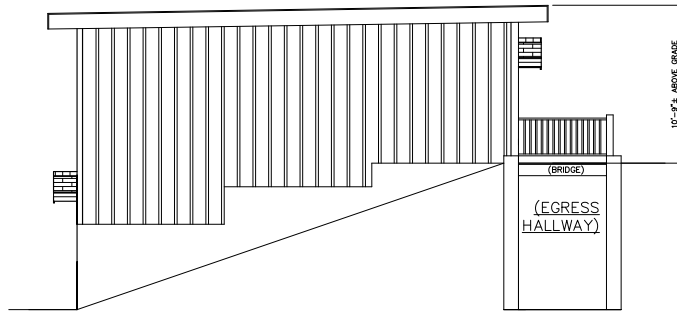
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING FOUR ELEVATIONS
2 STORY/4 UNITS WIDE/8 UNITS TOTAL

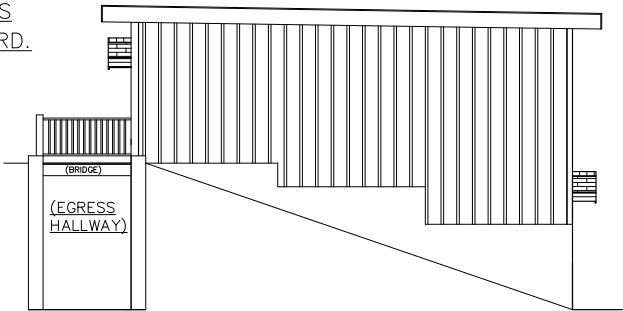
SHEET
A4A
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



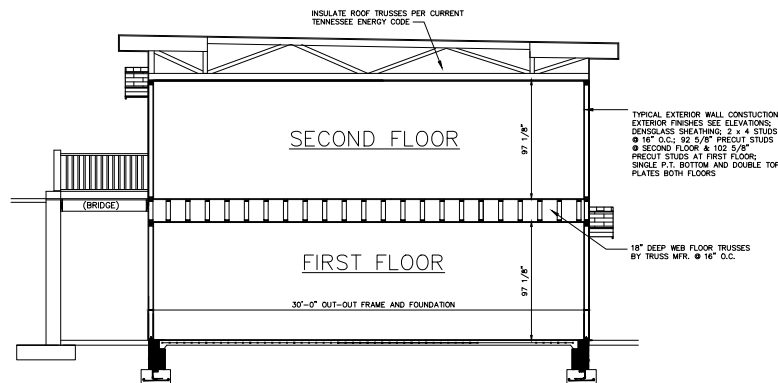
BUILDING FOUR LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

(LOVE'S
CREEK RD.
SIDE)

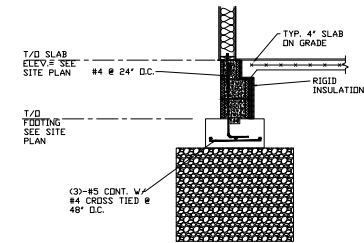
TYPICAL DECK
CONSTRUCTION:
6 x 6 P.T.
POSTS/2 x 10
P.T. FRAMING
Ø 16" O.C./
TREX OR EQUAL
DECKING/VINYL
BALLUSTERS &
RAILS



BUILDING FOUR RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING FOUR SECTION
SCALE: 1/4" = 1'-0"



DETAL 1/A4B
TYPICAL EXTERIOR WALL DETAIL
SCALE: 1/2" = 1'-0"

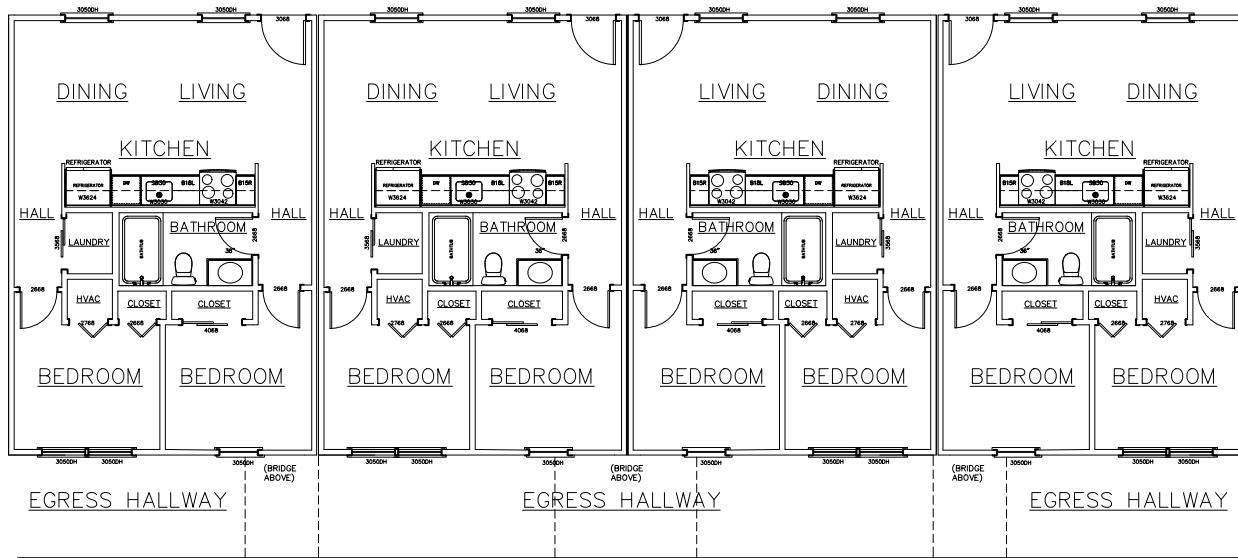
**JAMES D. SMITH,
ARCHITECT**
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PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING FOUR FLOOR PLANS
2 STORY/4 UNITS WIDE/8 UNITS TOTAL

SHEET
A4B
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING FOUR FIRST FLOOR PLAN LOVE'S CREEK RD. SIDE
SCALE: 1/4" = 1'-0"



BUILDING FOUR SECOND FLOOR PLAN LOVE'S CREEK RD. SIDE
SCALE: 1/4" = 1'-0"

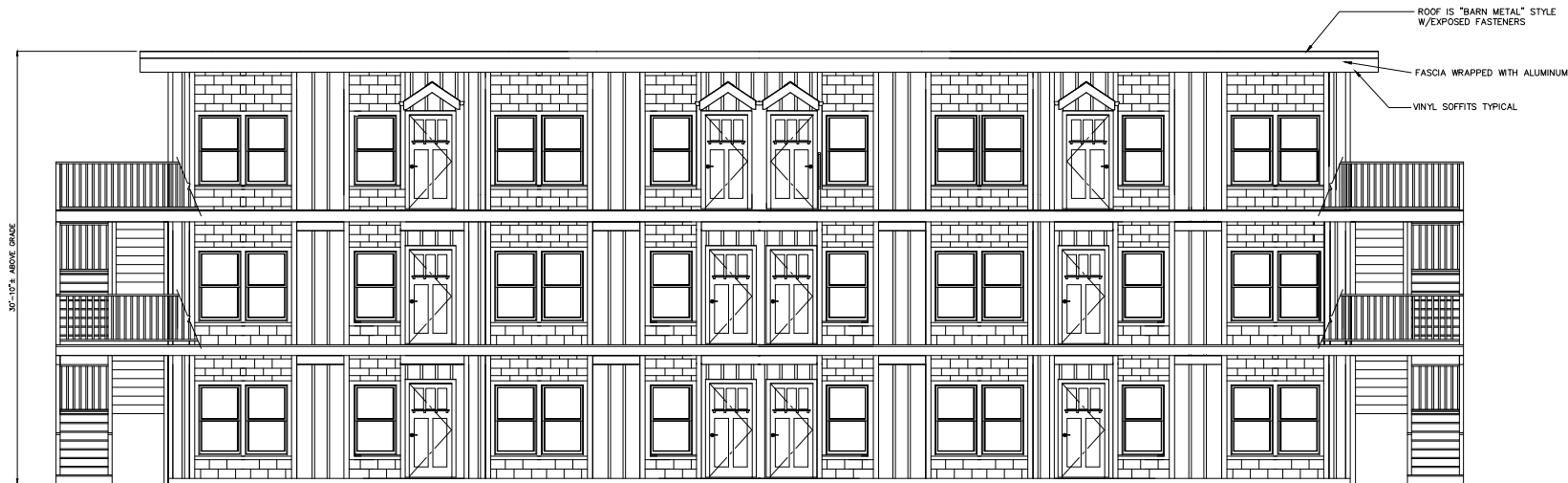
**JAMES D. SMITH,
ARCHITECT**
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-367-8920 EMAIL: JAMES@SMITH10COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING FOUR FLOOR PLANS
2 STORY/4 UNITS WIDE/8 UNITS TOTAL

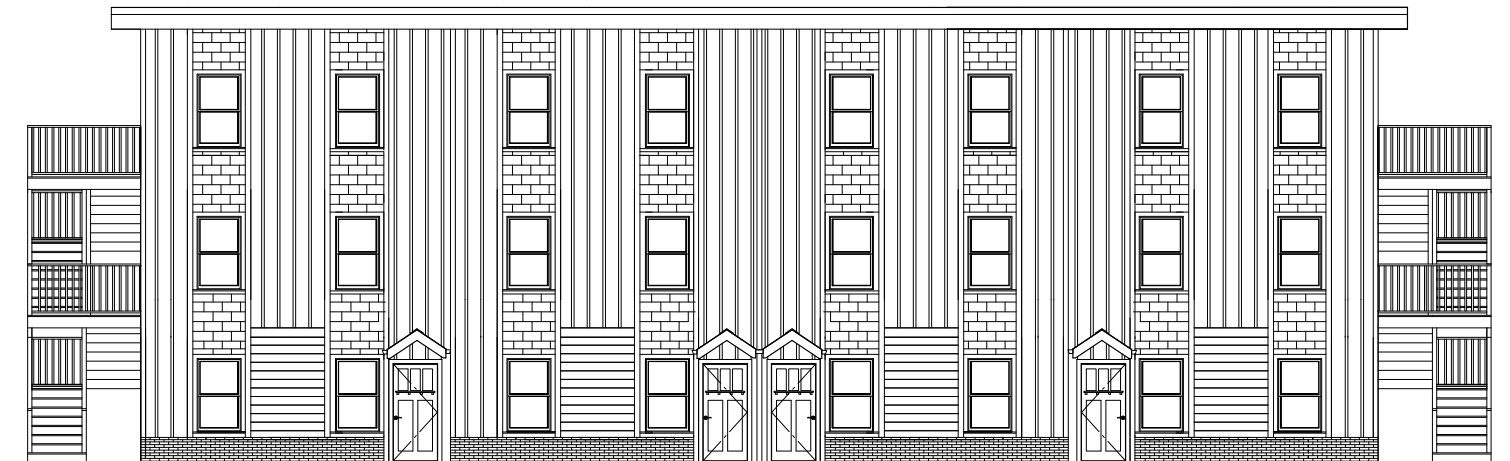
SHEET
A4C
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING FIVE FRONT ELEVATION (FACING LOVE'S CREEK RD.)
SCALE: 1/4" = 1'-0"

TRANSPARENCY REQUIREMENT

PER THE ZONING ORDINANCE OF THE CITY OF KNOXVILLE, TENNESSEE,
PAGE 269 3.B TRANSPARENCY REQUIREMENT FOR MULTI-FAMILY
HOUSING, 20% OF THE TOTAL AREA OF THE FRONT FACING
ELEVATION MUST BE TRANSPARENT.
BUILDING FIVE CALCULATION: AREA = 2,550 SF x 20% = 510 S.F.
GLASS REQUIRED; GLASS PROVIDED = 540 S.F. COMPLIES



BUILDING FIVE REAR ELEVATION
SCALE: 1/4" = 1'-0"

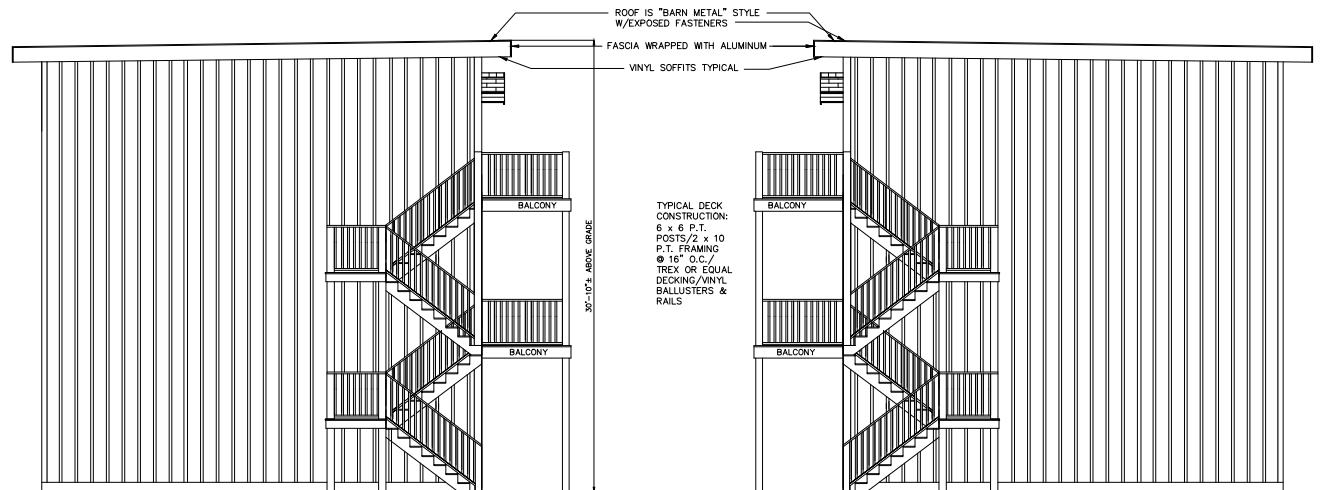
**JAMES D. SMITH,
ARCHITECT**
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

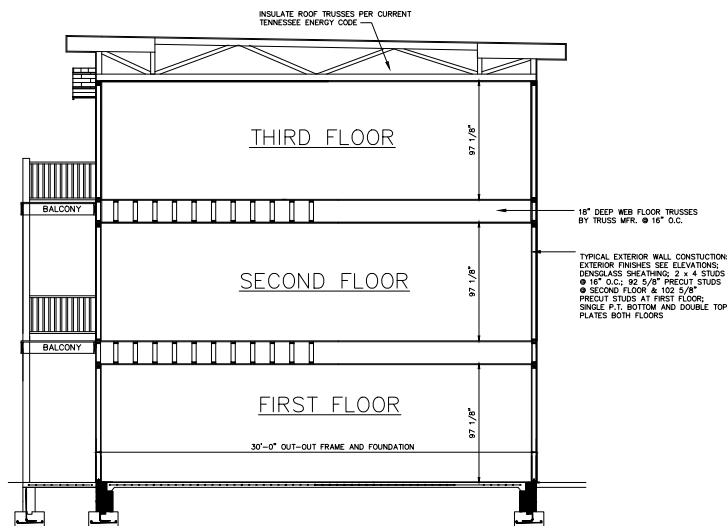
JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING FIVE ELEVATIONS
2 STORY/4 UNITS WIDE/12 UNITS TOTAL

SHEET
A5A
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A

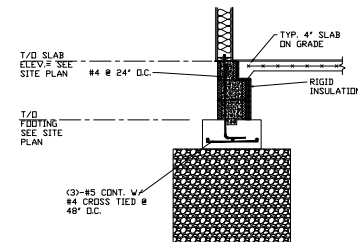


BUILDING FIVE LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING FIVE RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING FIVE SECTION
SCALE: 1/4" = 1'-0"



DETAIL 1/A5B
TYPICAL EXTERIOR WALL DETAIL
SCALE: 1/2" = 1'-0"

**JAMES D. SMITH,
ARCHITECT**

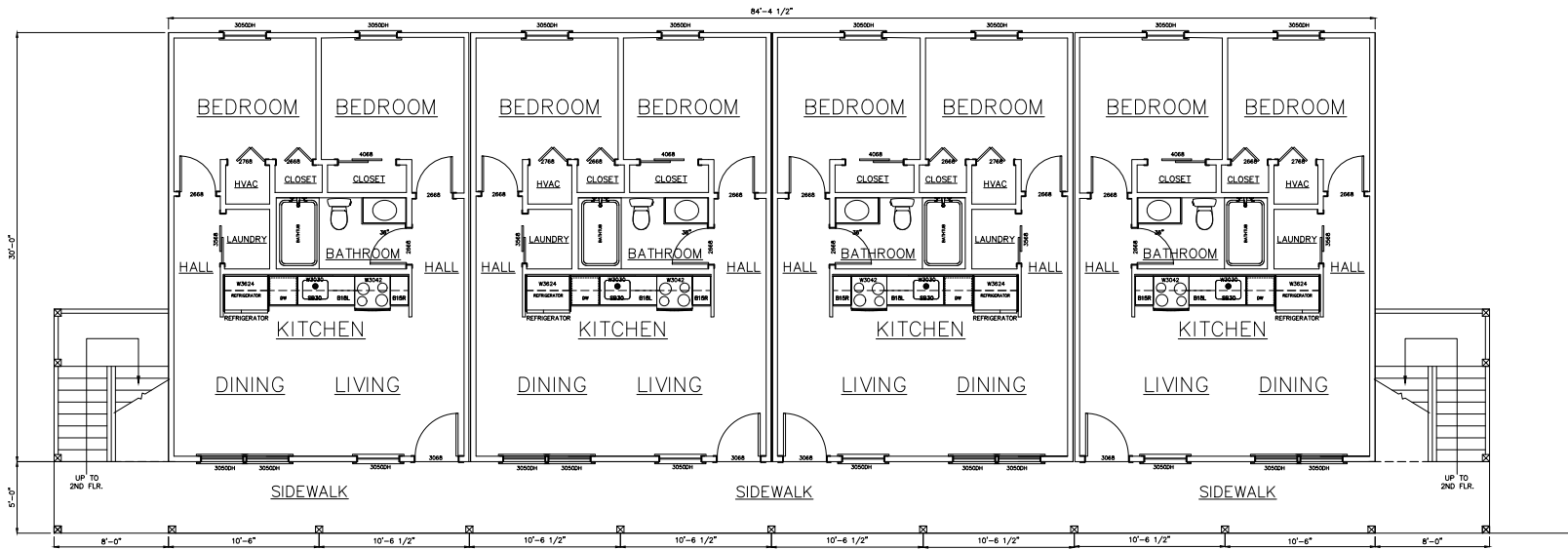
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

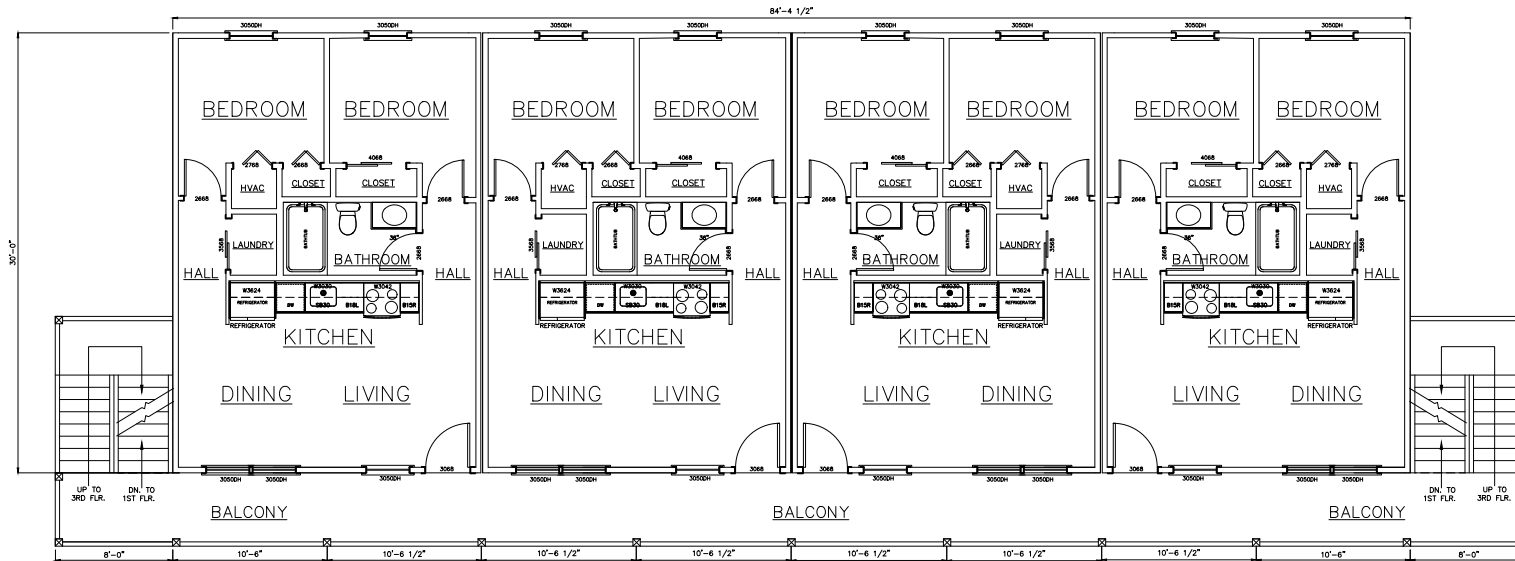
JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING FIVE ELEVATIONS / SECTION
2 STORY / 4 UNITS WIDE / 12 UNITS TOTAL

SHEET
A5B
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING FIVE FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



BUILDING FIVE SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

**JAMES D. SMITH,
ARCHITECT**

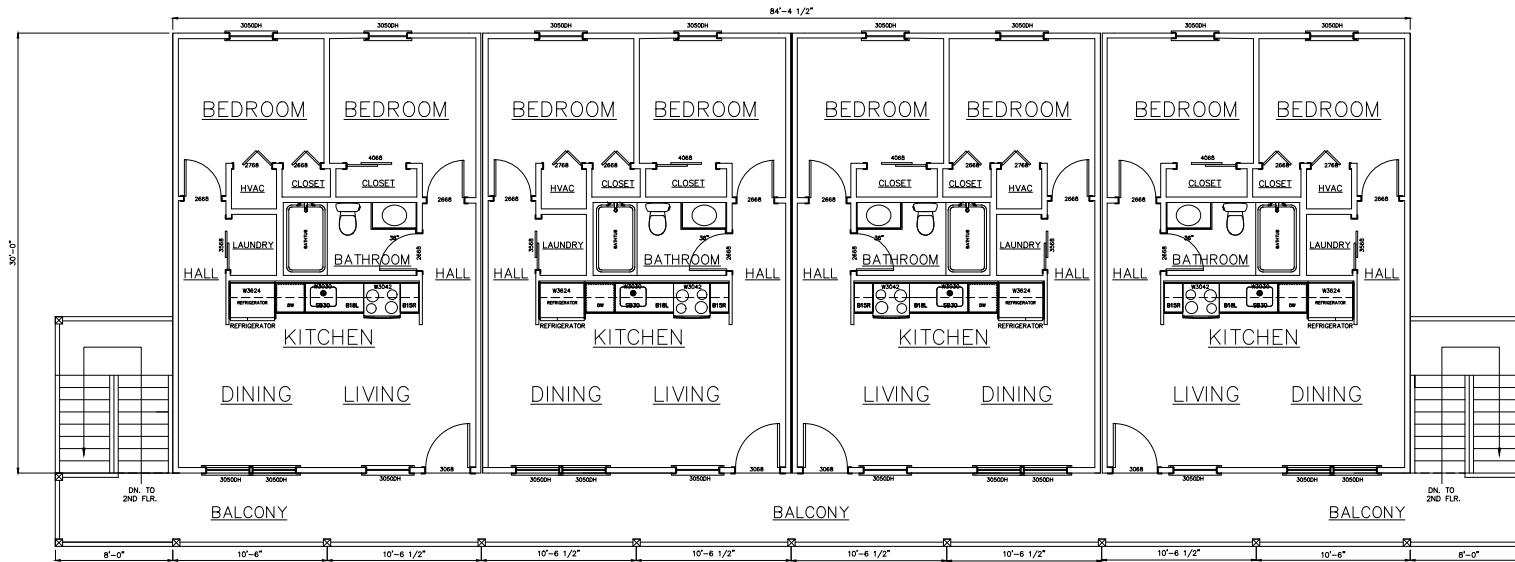
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-887-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING FIVE FLOOR PLANS
2 STORY/4 UNITS WIDE/12 UNITS TOTAL

SHEET
A5C
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING FIVE THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

JAMES D. SMITH,
ARCHITECT
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-887-8920 EMAIL: JAMESDSMITH@COMCAST.NET



REVISIONS	BY	DATE
NO. DESCRIPTION		
1 INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING FIVE FLOOR PLANS
2 STORY/4 UNITS WIDE/12 UNITS TOTAL

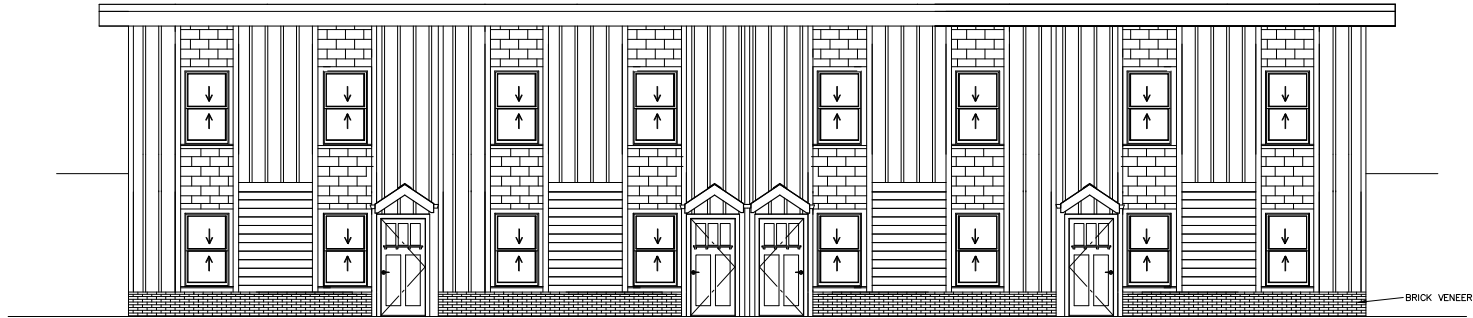
SHEET
A5D
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING SIX FRONT ELEVATION (FACING LOVE'S CREEK RD.)
SCALE: 1/4" = 1'-0"

TRANSPARENCY REQUIREMENT

PER THE ZONING ORDINANCE OF THE CITY OF KNOXVILLE, TENNESSEE,
PAGE 269 3.B TRANSPARENCY REQUIREMENT FOR MULTI-FAMILY
HOUSING, 20% OF THE TOTAL AREA OF THE FRONT FACING
ELEVATION MUST BE TRANSPARENT
BUILDING SIX CALCULATION: AREA = 1,700 SF x 20% = 340 S.F.
GLASS REQUIRED; GLASS PROVIDED = 360 S.F. COMPLIES



BUILDING SIX REAR ELEVATION
SCALE: 1/4" = 1'-0"

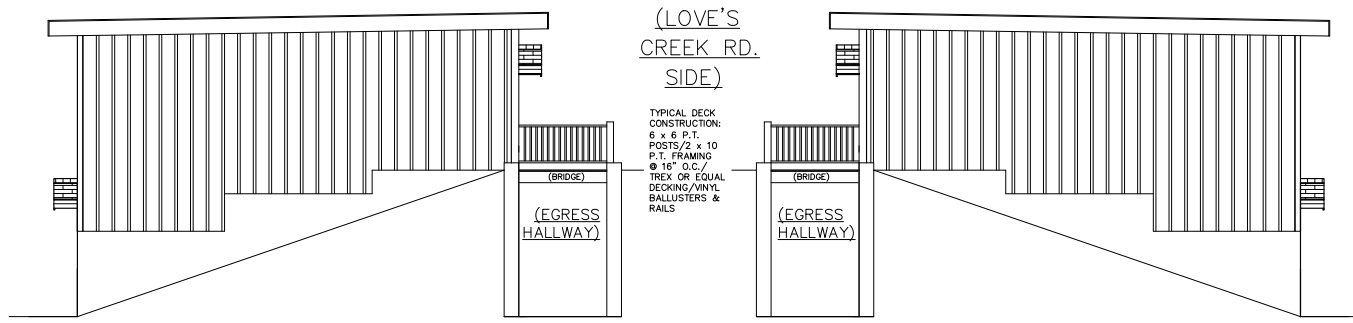
**JAMES D. SMITH,
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PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

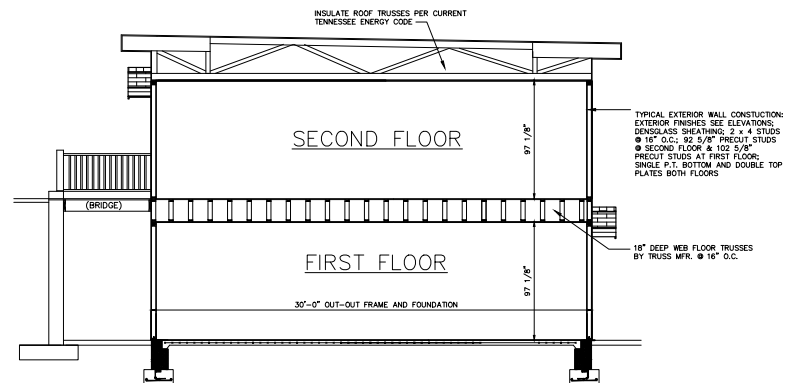
JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING SIX ELEVATIONS
2 STORY/4 UNITS WIDE/8 UNITS TOTAL

SHEET
A6A
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING SIX LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING SIX RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING SIX SECTION
SCALE: 1/4" = 1'-0"

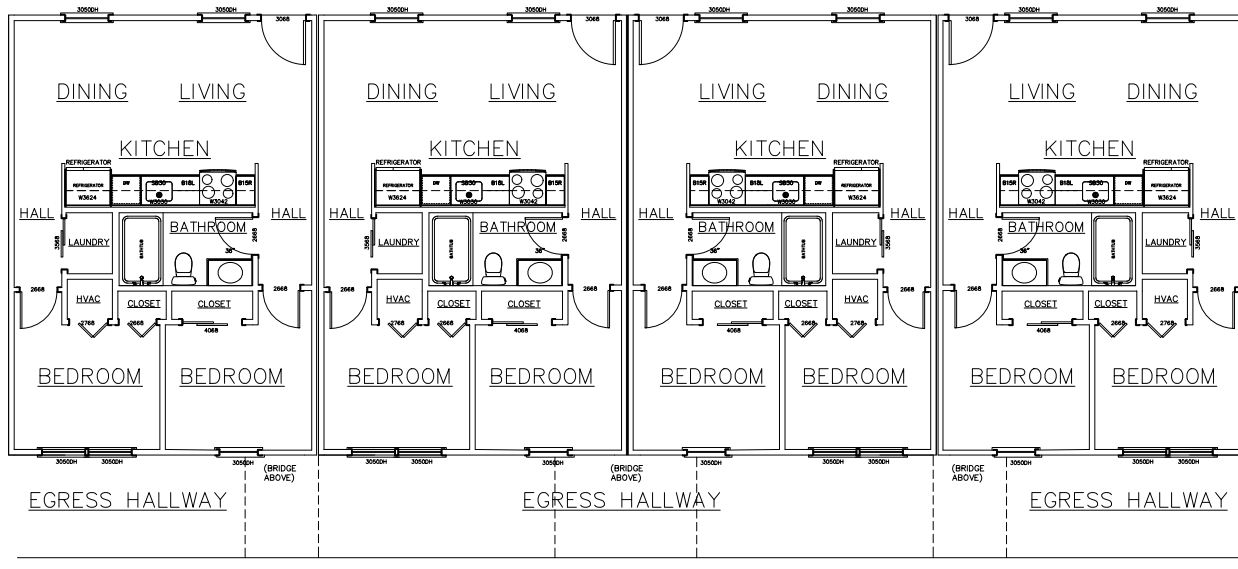
**JAMES D. SMITH,
ARCHITECT**
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-367-8920 EMAIL: JAMES@SMITH10COMCAST.NET



REVISIONS		DATE
NO.	DESCRIPTION	BY
1	INITIAL ISSUE	JDS 07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING SIX FLOOR PLANS
2 STORY/4 UNITS WIDE/8 UNITS TOTAL

SHEET
A6B
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING SIX FIRST FLOOR PLAN LOVE'S CREEK RD. SIDE

SCALE: 1/4" = 1'-0"



BUILDING SIX SECOND FLOOR PLAN LOVE'S CREEK RD. SIDE

SCALE: 1/4" = 1'-0"

JAMES D. SMITH,
ARCHITECT

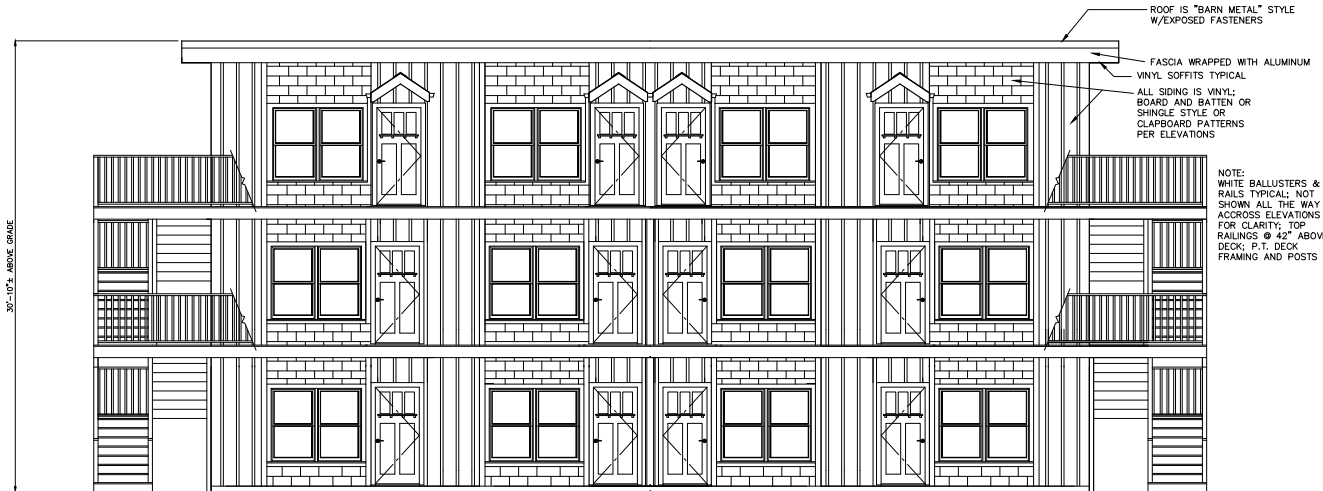
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NO.	REVISIONS	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING SIX FLOOR PLANS
2 STORY/4 UNITS WIDE/8 UNITS TOTAL

SHEET
A6C
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING SEVEN FRONT ELEVATION (FACING LOVE'S CREEK RD.)

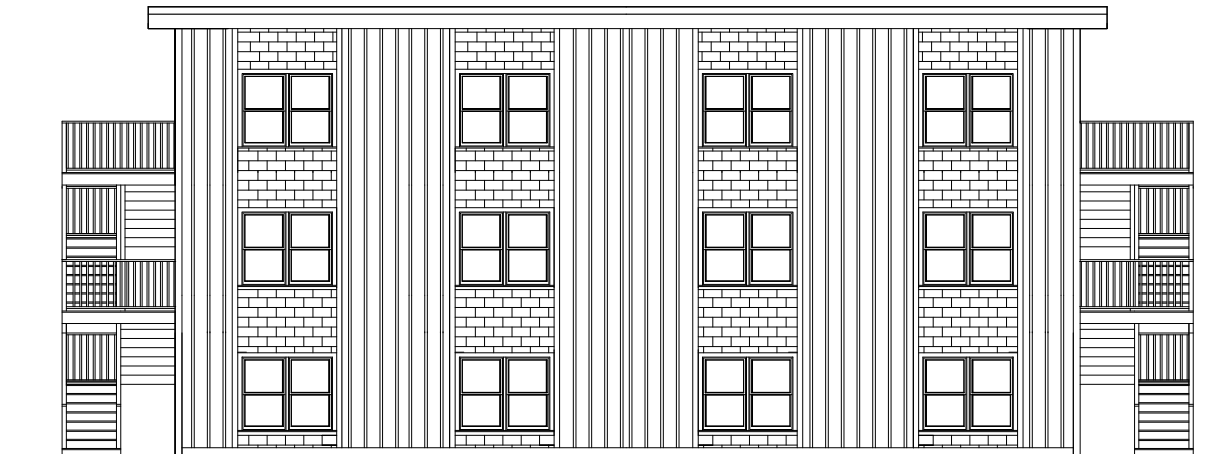
SCALE: 1/4" = 1'-0"

NOTE:

*ALUMINUM GUTTERS & DOWNSPOUTS (NOT SHOWN) TO BE PROVIDED / LOCATIONS PER OWNER/DEVELOPER & TIED TO STORM DRAINAGE SYSTEM

TRANSPARENCY REQUIREMENT

PER THE ZONING ORDINANCE OF THE CITY OF KNOXVILLE, TENNESSEE, PAGE 269 3.B TRANSPARENCY REQUIREMENT FOR MULTI-FAMILY HOUSING, 20% OF THE TOTAL AREA OF THE FRONT FACING ELEVATION MUST BE TRANSPARENT
BUILDING SEVEN CALCULATION:
FRONT (LOVE'S CREEK RD.) ELEVATION
AREA = 1,800 SF x 20% = 360 S.F.
GLASS REQUIRED, GLASS PROVIDED = 360 S.F. COMPLIES



BUILDING SEVEN REAR ELEVATION

SCALE: 1/4" = 1'-0"

(SEE ELEVATION ABOVE FOR TYPICAL FINISH NOTES)

**JAMES D. SMITH,
ARCHITECT**

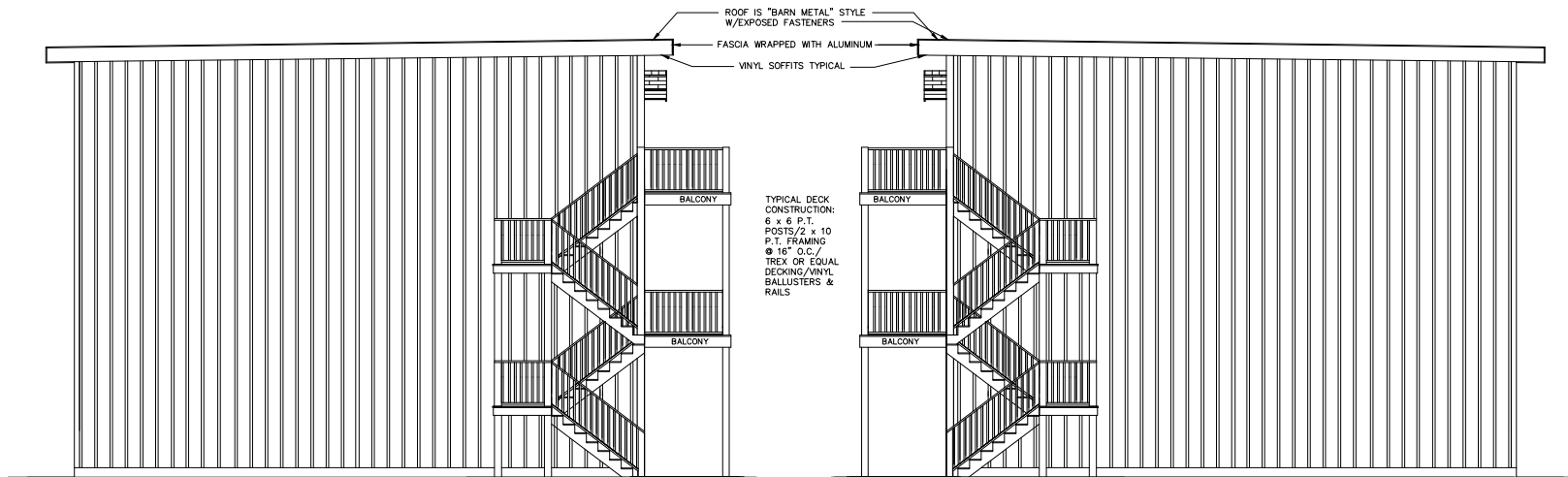
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-867-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

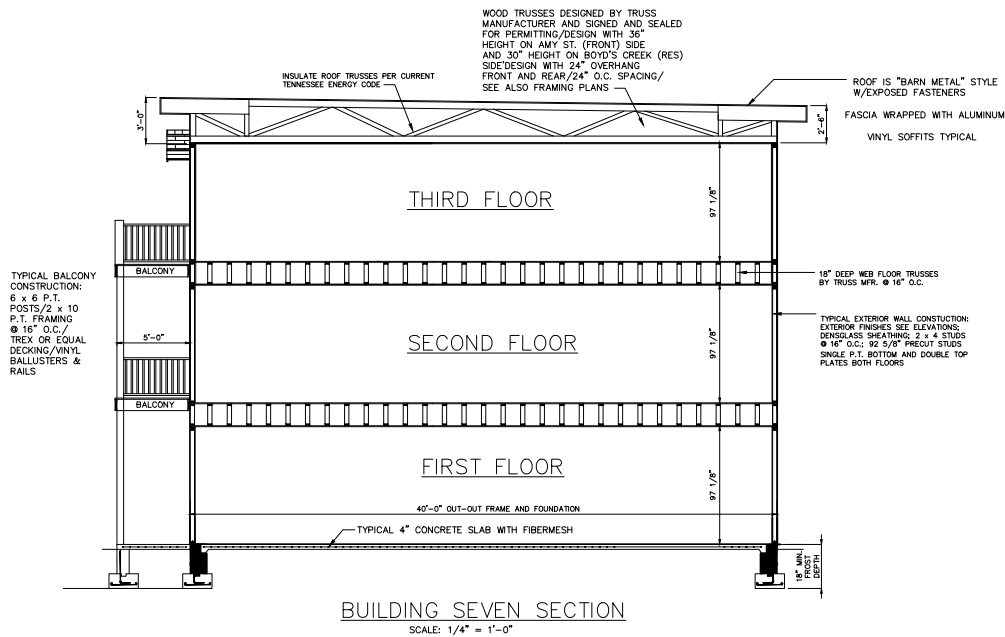
JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING SEVEN ELEVATIONS
3 STORY 4 UNITS WIDE / 12 UNITS TOTAL

SHEET
A7A
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A

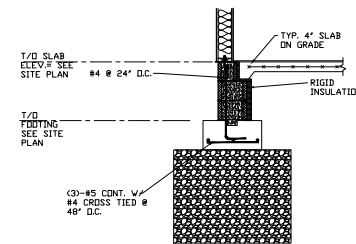


BUILDING SEVEN LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

BUILDING SEVEN RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



BUILDING SEVEN SECTION
SCALE: 1/4" = 1'-0"



DETAIL 1/A7B
TYPICAL EXTERIOR WALL DETAIL
SCALE: 1/2" = 1'-0"

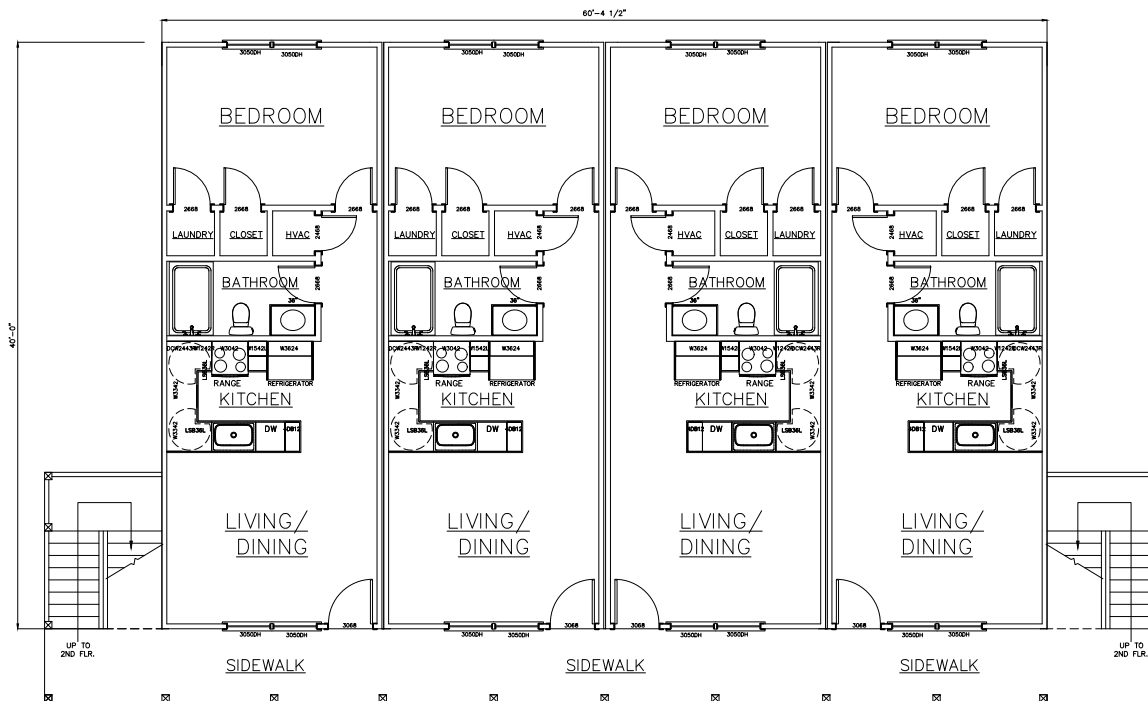
**JAMES D. SMITH,
ARCHITECT**
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-387-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING SEVEN ELEVATIONS / SECTION
3 STORY/4 UNITS WIDE/12 UNITS TOTAL

SHEET
A7B
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING SEVEN FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

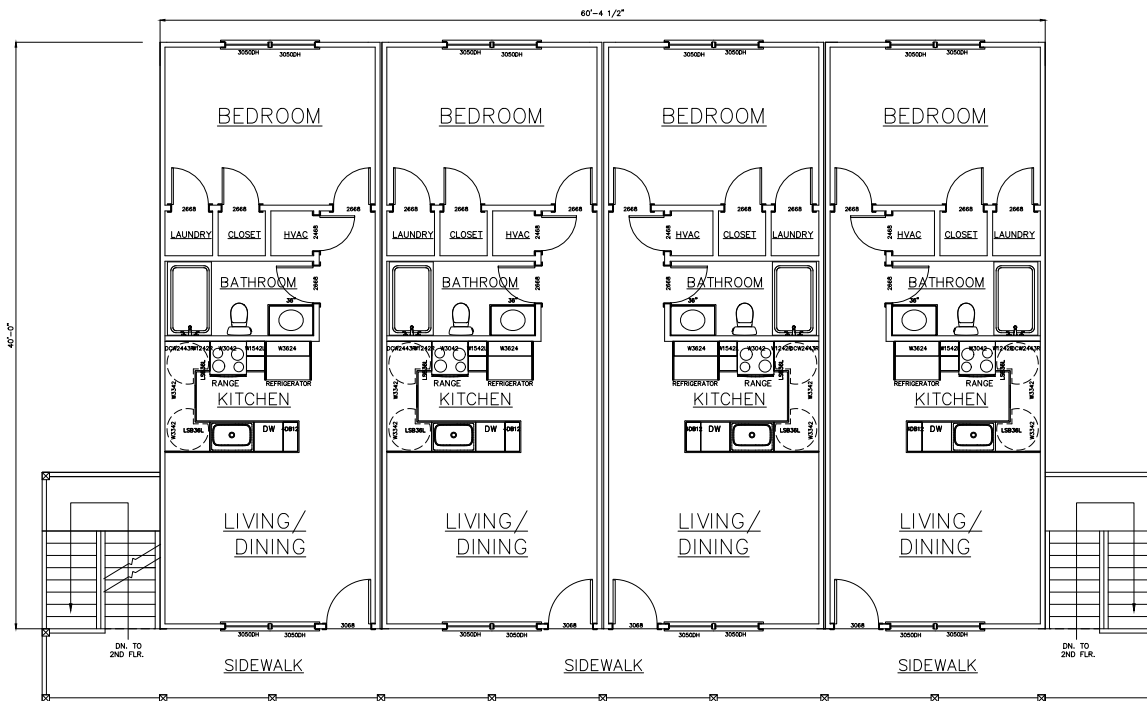
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NO.	DESCRIPTION	BY	DATE
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JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING SEVEN FIRST FLOOR PLAN
3 STORY/4 UNITS WIDE/12 UNITS TOTAL

SHEET
A7C
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A



BUILDING SEVEN THIRD FLOOR PLAN
SCALE: 1/4" = 1'-0"

JAMES D. SMITH,
ARCHITECT
522 BAY LANE, CENTERVILLE, MA 02632
PHONE: 508-367-8920 EMAIL: JAMESDSMITH@COMCAST.NET



NO.	DESCRIPTION	BY	DATE
1	INITIAL ISSUE	JDS	07/14/26
2			
3			
4			
5			

JOB LOCATION:
THE PRESERVE AT LOVE'S CREEK
KNOXVILLE, TN
BUILDING SEVEN THIRD FLOOR PLAN
3 STORY/4 UNITS WIDE/12 UNITS TOTAL

SHEET
A7E
FILE#: JDS26057
DATE: 08/04/26
PROJ. MGR. JDS
C.M. N/A

Type “A” Screen: Dense

APPROPRIATE LOCATION: Boundaries of commercial and industrial developments adjoining residential areas

NOTE: Landscape buffer strips should be a minimum of 15 feet in width, and sown with grass or ground cover for their full width, allowing for mulch at the base of plantings.

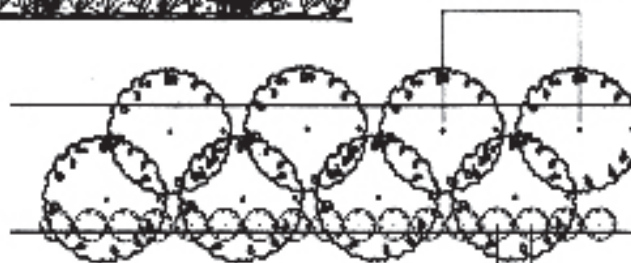
- Two offset rows of deciduous or evergreen canopy trees with a 6 ft. high continuous dense evergreen hedge, fence, wall or earth berm

TREE HEIGHT
Installed: 8 ft.
Mature: 40 ft.

SHRUB HEIGHT
Installed: 4 ft.
Mature: 6 ft.



Maximum 16' Centers



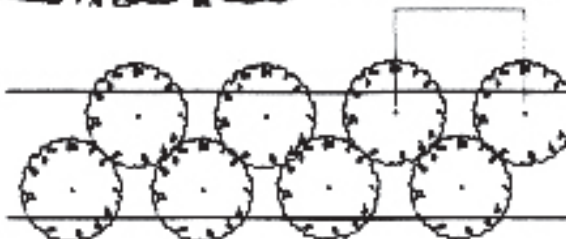
Maximum 4' Centers

- Two offset rows of evergreen trees with branches touching the ground

TREE HEIGHT
Installed: 8 ft.
Mature: 30 ft.



Maximum 12' Centers



INTRODUCTION

Landscape screening reduces the impact of intense development upon adjacent land uses by providing visual separation, reducing the transmission of glare and air pollution, and limiting access. Screening also promotes the aesthetic appeal of a neighborhood and promotes higher property values.

This series of design guidelines defines several types of landscape screen. Each type is applicable to a certain intensity of conflict between adjacent land uses. Each screen type is illustrated by several planting schemes with an equivalent height, density and opacity of landscaping.

Planning uses these guidelines to illustrate desirable levels of screening appropriate to various site planning situations. Creative alternatives which achieve a comparable effect are encouraged.

The contents of these guidelines are advisory and are intended to supplement, but not replace, the requirements of the Knoxville Zoning Ordinance and the Knox County Zoning Ordinance.

Exhibit C. Photographs of the structure



Exhibit C. Selected pages from National Register of Historic District nomination form

7. DESCRIPTION	
CONDITION	(Check One)
	☐ Excellent ☐ Good ☐ Fair ☒ Deteriorated ☐ Ruins ☐ Unexposed
	(Check One) ☒ Altered ☐ Unaltered (Check One) ☐ Moved ☒ Original Site
DESCRIBE THE PRESENT AND ORIGINAL (if known) PHYSICAL APPEARANCE	
<i>Homesteads</i> <i>LEBOVICH</i> The Alfred Buffat homestead is one of the few pre-Civil War (frame-structures) left in Knox County. The home is set among large red-leaf maples in a still fairly undeveloped portion of the County. It is presently unoccupied and has deteriorated somewhat since the last occupant left some eight years ago. However, the property has been recently purchased by John Parker, a direct descendent of Buffat, and restoration plans are being considered. Originally built as a simple one-story 4-room and hall structure in 1867, the house was expanded to two stories three years later. The porticoes were also added at that time. The house, known as "The Maples," was the center of community life until the turn of the century. This was primarily because of the mill Buffat owned. The cottage next to the house was built for the miller and his family and was constructed about the same time as the house. The cottage is also of frame construction and both the house and cottage have yellow poplar siding. Lumber for the community's houses was cut from the Buffat farm, sawed into timbers and boards at the Buffat mill and the structures assembled by neighbors and friends. The interiors of the cottage and house have soft pine flooring and both had plastered walls and ceilings. The plaster has deteriorated through the years and will probably be replaced by drywall in restoration. The granary, blacksmith shop, wagon scales, springhouse, one-room schoolhouse, and mill have either fallen or been torn down. The stone pillars which supported the mill wheel as well as the raceway remain. Several of the grindstones are in the possession of Mr. Parker. Besides the main house and the miller's cottage, other buildings of the farm-mill complex still standing are the smokehouse, washhouse, barns, and utility buildings.	

SEE INSTRUCTIONS

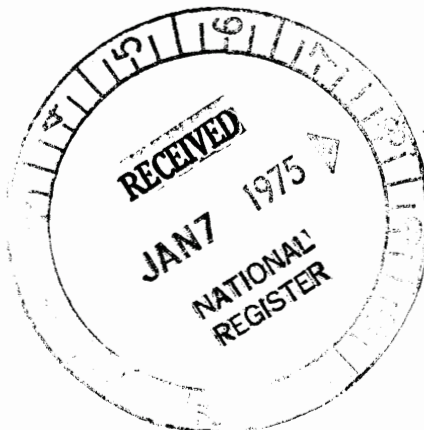


Exhibit C. Selected pages from National Register of Historic District nomination form

8. SIGNIFICANCE

PERIOD (Check One or More as Appropriate)

- | | | | |
|--|---------------------------------------|--|---------------------------------------|
| ☐ Pre-Columbian | ☐ 16th Century | ☐ 18th Century | ☐ 20th Century |
| ☐ 15th Century | ☐ 17th Century | ☒ 19th Century | |

SPECIFIC DATE(S) (If Applicable and Known)

AREAS OF SIGNIFICANCE (Check One or More as Appropriate)

- | | | | |
|---|--|---|--|
| ☐ Aboriginal | ☐ Education | ☐ Political | ☐ Urban Planning |
| ☐ Prehistoric | ☐ Engineering | ☒ Religion/Phi- | ☐ Other (Specify) |
| ☐ Historic | ☒ Industry | losophy | |
| ☐ Agriculture | ☐ Invention | ☐ Science | |
| ☐ Architecture | ☐ Landscape | ☐ Sculpture | |
| ☐ Art | Architecture | ☐ Social/Human- | |
| ☐ Commerce | ☐ Literature | itarian | |
| ☐ Communications | ☐ Military | ☐ Theater | |
| ☐ Conservation | ☐ Music | ☐ Transportation | |

STATEMENT OF SIGNIFICANCE

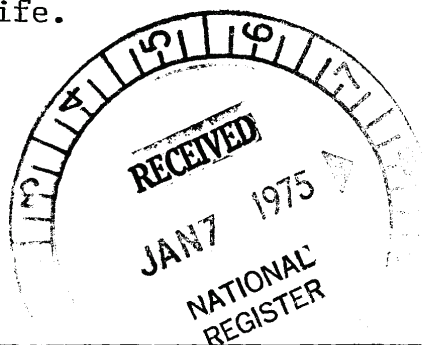
Alfred Buffat (1840-1908) came to Knox County at the age of 10 with his parents from Switzerland in search of religious tolerance and economic opportunity.

In 1851 the watermilling enterprise was started to supplement the Buffat's farm income. During the Civil War the mill was in possession of both Confederate and Federal troops. According to Alfred Buffat's memoirs the mill at one time was the largest gristmill south of the Ohio River.

In 1859 Alfred Buffat took over the mill from his father and eight years later started to build "The Maples" for his bride, the daughter of a Swiss consul.

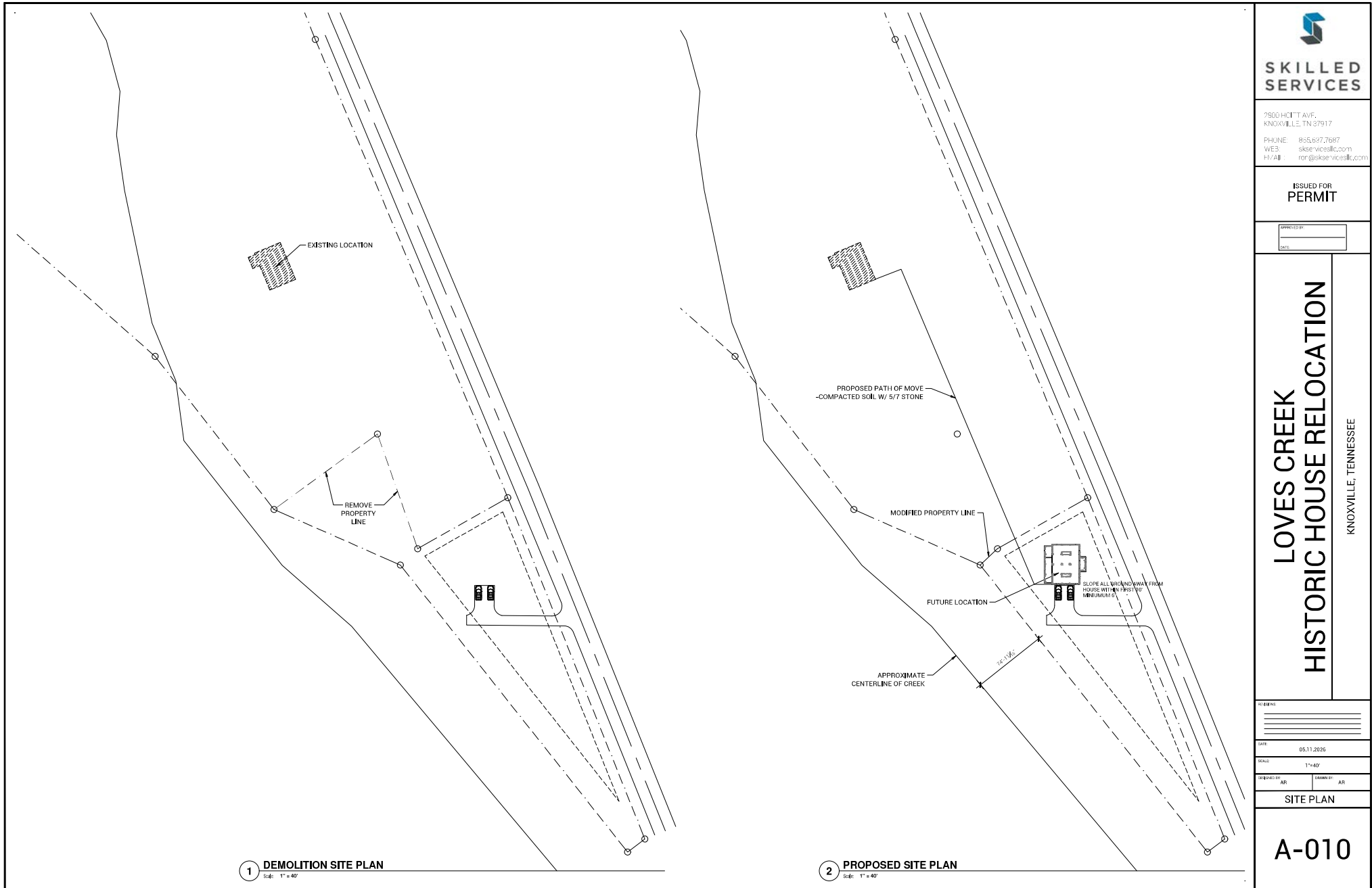
By this time the Buffat Mill and home with its attendant facilities were the center of community life. Alfred and his father, Pierre, taught in the one-room schoolhouse on land donated by P. Buffat. (Pierre Buffat had been a university professor before immigrating from Switzerland.) The Buffat community, known as Spring Place, also was one of the major grist mills in the county and supplied much of the area with cut timber from the wood mill. The Buffats also ran a blacksmith shop as well as farming several hundred acres. A road was built to Knoxville, still called Buffat Mill Road, for the express purpose of transporting the goods manufactured by the Buffats to Knoxville.

The major significance of the home and remaining buildings is that it is one of only a few visual reminders of the influence the Swiss had in the area, and the industries which they established to carry on their way of life.



SEE INSTRUCTIONS

Exhibit C. Proposed Relocation Plan (PLAN-26-1650)



SKILLED SERVICES

7500 HICOTT AV.
KNOXVILLE, TN 37917
PHONE: 855.827.7687
WEB: skservicesllc.com
H/Alt: ror@skservicesllc.com

ISSUED FOR
PERMIT

APPROVED BY:
DATE:

LOVES CREEK HISTORIC HOUSE RELOCATION

KNOXVILLE, TENNESSEE

NO. 000000
DATE:
SCALE:

DATE:	05.11.2026
SCALE:	1"=40'
DESIGNED BY:	AR
DRAWN BY:	AR

SITE PLAN

A-010



THE PRESERVE AT LOVES CREEK TRAFFIC IMPACT STUDY

LOVES CREEK ROAD
KNOXVILLE, TN

ARDURRA PROJECT NO. 01975-0000.000



PREPARED FOR:
Perry Smith Development
2139 New Era Road
Sevierville, TN 37862

SUBMITTED BY
Ardurra
10025 Investment Drive, Ste 120
Knoxville, TN 37932
865.670.8555

JULY
2026



7 CONCLUSIONS & RECOMMENDATIONS

The primary conclusion of this study is that traffic generated from the proposed residential development will have minor impacts on the study intersections. The results indicate that an acceptable LOS “D” or better can be anticipated at all study intersections under combined conditions. Due to the limited sight distance when looking left onto Loves Creek Road from Buffat Mill Road, it is recommended that the current side-street stop control be converted to All-Way Stop control and advanced signage be added prior to the proposed All-Way Stop.

The following list is a summary of the improvements that are recommended to be implemented with the construction of this project:

1. Install STOP sign at the unsignalized intersection of each of the proposed driveways.
2. Remove or trim any trees or vegetation located on-site or within the right-of-way that interferes with sight distance.
3. Convert the intersection of Loves Creek Road at Buffat Mill Road from side-street stop control to All-Way stop control.
4. Install a MUTCD 30” x 30” (W3-1) “Stop Sign Ahead” sign with a MUTCD 24” x 16” (W16-15P) “New” plaque 400’ in advance of the proposed all-way stop at Loves Creek Road and Buffat Mill Road, approximately just south of the Cross Points Church driveway.

The Planning Commission may reduce or otherwise vary the requirements of the Subdivision Regulations when it finds the hardship criteria are met. In granting such variances, the Planning Commission may attach and require whatever conditions it feels are necessary to secure the basic objectives of the varied regulations. Any variance granted by the Planning Commission shall be noted in its official minutes along with the justification for granting the variance (Subdivision Regulations, Section 1.05).

HARDSHIP CONDITIONS TO BE MET:

- 1 Conditions Required:** Where the Planning Commission finds that extraordinary hardships or particular difficulties may result from the strict compliance with these regulations, they may, after written application, grant variations to the regulations, subject to specified conditions, so that substantial justice may be done and the public interest secured, provided that such variations shall not have the effect of nullifying the intent and purpose of these regulations or the comprehensive plan.
- 2 Evidence of Hardship Required:** The Planning Commission shall not grant variations to these regulations if the purpose of the variation is solely for financial gain. The Planning Commission shall not grant variations to the Subdivision Regulations unless they make findings based upon the evidence presented to them in each specific case that the following hardships are met:
 - a. Because of the particular surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of the regulations were adhered to.
 - b. The conditions upon which the request for a variation is based is unique to the property for which the variation is sought and is not applicable, generally, to other property, and has not been created by any person having an interest in the property.
 - c. The granting of the variation will not be detrimental to the public safety, health, or welfare, or injurious to other property or improvements in the neighborhood in which the property is located.

By signing this form, I certify that the criteria for a variance have been met for each request, and that any and all requests needed to meet the Subdivision Regulations are requested above or are attached. I understand and agree that no additional variances can be acted upon by the legislative body upon appeal and none will be requested.


SignatureDAVID HARBIN
Printed Name8-5-26
Date

B-SE-26-C/B-C-26-SU
multifamily Development at 1717 Lakes Creek

It is the applicant's responsibility to identify the hardship that would result, as distinguished from a mere inconvenience, if the strict letter of the regulations was adhered to. Each of the variance criteria must be addressed in the comments below with specific facts regarding the unique details of the property and/or project, as applicable.

1. VARIANCE REQUESTED:

To allow multifamily dwellings to be served by access easements.

Specify the hardship that would result for each of the variance criteria:

- A. Pertaining to the particular surroundings, shape, or topographical conditions of the subject property:
- B. Pertaining to conditions unique to the property that are not applicable to other property and has not been created by any person having an interest in the property.
- C. Pertaining to the granting of a variance will not be detrimental to public safety, health, or welfare, or injurious to other property or improvements in the neighborhood in which the property is located.

Individual driveways are not preferable here due to safety concerns, we will adhere to TIA's recommendation

To be completed by the City or County Department of Engineering, as applicable:

Engineering supports the variance requested (to be completed during review process): YES ☐ NO ☐

Engineering Comments:

It is the applicant's responsibility to identify the hardship that would result, as distinguished from a mere inconvenience, if the strict letter of the regulations was adhered to. Each of the variance criteria must be addressed in the comments below with specific facts regarding the unique details of the property and/or project, as applicable.

2. VARIANCE REQUESTED:

To allow more than 10 dwelling units to be served by an access easement

Specify the hardship that would result for each of the variance criteria:

- A. Pertaining to the particular surroundings, shape, or topographical conditions of the subject property:
- B. Pertaining to conditions unique to the property that are not applicable to other property and has not been created by any person having an interest in the property.
- C. Pertaining to the granting of a variance will not be detrimental to public safety, health, or welfare, or injurious to other property or improvements in the neighborhood in which the property is located.

Individual driveways are not preferable here due to safety concerns, we will adhere to TIA's recommendation.

To be completed by the City or County Department of Engineering, as applicable:

Engineering supports the variance requested (to be completed during review process): YES ☐ NO ☐

Engineering Comments:

Public Notice and Community Engagement

Planning strives to provide community members with information about upcoming cases in a variety of ways. In addition to posting public notice signs, our agency encourages applicants to provide information and offer opportunities for dialogue related to their upcoming case(s). The contact information you provide in your application may be used for that purpose. We require applicants to acknowledge their role in this process.

Sign Posting and Removal

The Administrative Rules and Procedures of the Knoxville-Knox County Planning Commission require a sign to be posted on the property for each application subject to consideration by the Planning Commission.

Planning staff will post the required sign. If a replacement sign(s) is needed, the applicant is responsible for picking up the new sign(s) from Planning and will be charged \$10 for each replacement.

Location and Visibility

The sign must be posted on the nearest adjacent/frontage street and in a location clearly visible to vehicles traveling in either direction. If the property has more than one street frontage, the sign should be placed along the street that carries more traffic. Planning staff may recommend a preferred location for the sign to be posted at the time of application.

Timing

The sign(s) must be posted not less than 12 days prior to the scheduled Planning Commission public hearing and must remain in place until the day after the meeting. In the case of a postponement, the sign can either remain in place or be removed and reposted not less than 12 days prior to the next Planning Commission meeting. The applicant is responsible for removing the sign after the application has been acted upon by the Planning Commission.

Acknowledgement

By signing below, you acknowledge that public notice signs must be posted and visible on the property consistent with the guidelines above and between the dates listed below.

8/1/26

Date to be Posted

8/14/26

Date to be Removed

Have you engaged the surrounding property owners to discuss your request?

☐ Yes ☐ No

☒ No, but I plan to prior to the Planning Commission meeting


Applicant Signature

DAVID HARBIN
Applicant Name

8-22-26
Date